

CITY OF PORTLAND, OREGON - BUREAU OF DEVELOPMENT SERVICES



1900 SW Fourth Avenue ● Portland, Oregon 97201 ● www.portlandonline.com/bds ● 503-823-0652 ● FAX 503-823-7425

Facilities Permit Plan Intake Form

FOR INTAKE, STAFF USE ONLY	Building/Mechanical _	Jon
Date Received \$27/12	Electrical	John
Building Registration # 03-105510-FC	- Plumbing	
Fixed Bid	Fire	
Bin #	Planning	
Building Permit # 12-177142-FA	BES	
Mechanical #	PDOT	
Plumbing Permit #	Structural	
Electrical Permit #	Other	
PPLICANT: Complete all sections below that ap	ply to the project. Plea	ase print legibly.
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treet Address 2510 NE Multronah		
		Zip Code 97232
ay Phone (503) 284- 4133 FAX (503) 2		muite approvitand.
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fpp_intake 08/17/05

City of Portland Oregon - Bureau of Development Services



MECH

SUITE 100

SUITE 150

SUITE 160

AREA OF WORK

BUILDING/CODE INFORMATION

2009 IBC & 2010 DREGON STUCTURAL CODE CONSTRUCTION TYPE:

BUILDING HEIGHT ...

BUILDING DCCUPANCY ...

..... 3,151 USF TENANT IMPROVEMENT SQUARE FOOTAGE:.....

DCCUPANT LOAD FOR TENANT IMPROVEMENT:.....

GENERAL NOTES - CODE INFORMATION

- 1. ALL CONSTRUCTION WORK SHALL BE DONE IN COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE 2009 EDITION & 2010 DREGON STRUCTURAL CODE.
- 2. MAINTAIN 100% COVERAGE FROM EXISTING FIRE SPRINKLER AND SMOKE & FIRE ALARM SYSTEM PER FMD.
- 3. ALL EMERGENCY LIGHTING, SPRINKLERS, FIRE DETECTORS, FIRE ALARM COMMUNICATION DEVICES AND ALL OTHER REQUIREMENTS TO CONFORM TO DREGON STATE BUILDING AND LIFE SAFETY
- 4. FIRE EXTINGUISHERS FINAL LOCATIONS TO BE APPROVED BY THE FIRE MARSHAL. FIRE EXTINGUISHERS TO BE LOCATED IN ACCESSIBLE LOCATIONS, IN PLAIN VIEW EVERY 3,000 SQUARE FEET OF FLOOR AREA WITH A MAXIMUM PATH OF TRAVEL OF 75 FEET.
- 5. PROVIDE A SIGN READING 'THIS DOOR SHALL REMAIN UNLOCKED WHEN BUSINESS IS OCCUPIED' AS DESIGNATED OR REQUIRED BY CODE OR BUILDING OFFICIALS.
- 6. EXIT SIGNS AND ILLUMINATION SHALL BE IN ACCORDANCE WITH INTERNATIONAL BUILDING CDDE, SECTIONS 1006 AND 1011

DRAWING INDEX

T-D PROJECT COVER SHEET

T-1 EGRESS PLAN

T-2 DEMOLITION FLOOR PLAN

City of Portland T2-1 IMPROVEMENT FLOOR PLAN

T-3 REFLECTED CEILING PLAN

SEP 06 2012

T-4 DETAILS

2-177142-FA Permit Number

DEFERRED SUBMITTALS

• ELECTRICAL

PROJECT TEAM

BUILDING ADDRESS: 6420 SW MACADAM AVE.

PORTLAND, DREGON 97239

DWNER / LANDLORD: AMERICAN PROPERTY MANAGEMENT

2154 N.E. BROADWAY, SUITE 200 PORTLAND, DREGON 97232 CONTACT: DOUG LINDHOLM PHDNE: (503)-281-7779

TENANT:

GENERAL NOTES - CONTRACTOR INFORMATION

- 1. CONTRACTOR TO VERIEY ALL DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION CONFLICTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE CONSTRUCTION.
- 2. ALL DIMENSIONS FROM CENTER OF WALL OR GRID UNLESS OTHERWISE NOTED.
- 3. THE CONTRACTOR SHALL KEEP THE AREA OF WORK FREE OF GARBAGE AND DEBRIS ON A DAILY
- 4. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE PREMISES AND WASH THE INSIDE OF ALL WINDOWS SO THAT THE SPACE IS READY FOR OCCUPANCY FOR
- 5. THE CONTRACTOR SHALL WARRANTEE ALL PARTS, LABOR, EQUIPMENT AND MATERIAL PROVIDED UNDER THIS CONTRACT FOR A PERIOD OF ONE (1) YEAR, UPON COMPLETION OF THE CONTRACT.
- 6. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO AND APPROVED BY THE ARCHITECT PRIOR TO IMPLEMENTATION.
- 7. ANY SUBCONTRACTOR DESIGNED ITEMS TO BE SUBMITTED TO AND APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. PROVIDE SHOP DRAWINGS FOR ALL CASEWORK.
- 8, ANY ADDITIONAL DRAWINGS AND SPECIFICATIONS REQUIRED FOR PERMITS TO BE SUPPLIED BY
- ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTORS SHALL CLOSELY COORDINATE ALL WORK TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.
- 10. ALL ELECTRICAL TO BE DESIGN-BUILD. CONTRACTOR TO PROVIDE ALL DOCUMENTATION INCLUDING SHOP DRAWINGS THAT ARE NECESSARY FOR CONSTRUCTION AND PERMITS.
- 11. PARTITIONS, DOORS, RELITES AND ITEMS SHOWN DASHED ARE TO BE REMOVED OR RELOCATED. REUSABLE MATERIALS TO BE RETURNED TO BUILDING STOCK.
- 12. REMOVE ALL POWER SIGNAL, SWITCHING & OTHER CONTROL ITEMS FROM WALLS TO BE
- 13. EXISTING ELECTRICAL DUTLETS IN EXISTING WALLS TO REMAIN AS IS.
- 14. CONTRACTOR TO VERIFY WITH TENANT THE EXACT LOCATIONS AND REQUIREMENTS OF ELECTRICAL DUTLETS. TENANT RESPONSIBLE FOR CONTRACT OF LOW VOLTAGE DESIGN AND INSTALLATION.
- 15. RESWITCH LIGHT FIXTURES AS REQUIRED AND/OR AS SHOWN ON REFLECTED CEILING PLAN.
- 16. MATCH EXISTING CONDITIONS AND FINISHES AT ALL LOCATIONS UNLESS NOTED OTHERWISE. REFER TO THE FINISH SCHEDULE FOR ALL FINISH MATERIALS, SUBMIT PAINT DRAW-DOWNS TO ARCHITECT FOR APPROVAL PRIOR TO APPLICATION.

ADA UPGRADE SUMMARY

TOTAL COST OF CONSTRUCTION: 25% OF TOTAL COST OF CONSTRUCTION: MAXIMUM AMOUNT TO BE PAID FOR ADA UPGRADES. ESTIMATED COST OF ADA UPGRADES:

- * PARKING (ALREADY COMPLIANT)
- * ACCESS TO BUILDING: (ALREADY COMPLIANT)
- * ELEVATOR ACCESS: (ALREADY COMPLIANT)
- * REST RODMS: COST TO UPGRADE EXCEEDS 25% REQUIREMENT * DOOR HARDWARE: (COST TO UPGRADE _____)
- * CASEWORK (RECEPTION DESK/BREAK ROOM CABINET): ALREADY COMPLIANT

TOTAL COST OF ADA UPGRADES: _

SCRIBES STAT INC. a DELAWARE CORPORATION

503-

DRAWN BY: C.

DATE: 8-22-2012

PROJECT COVER SHEET

KEY MAP - SUITE 160

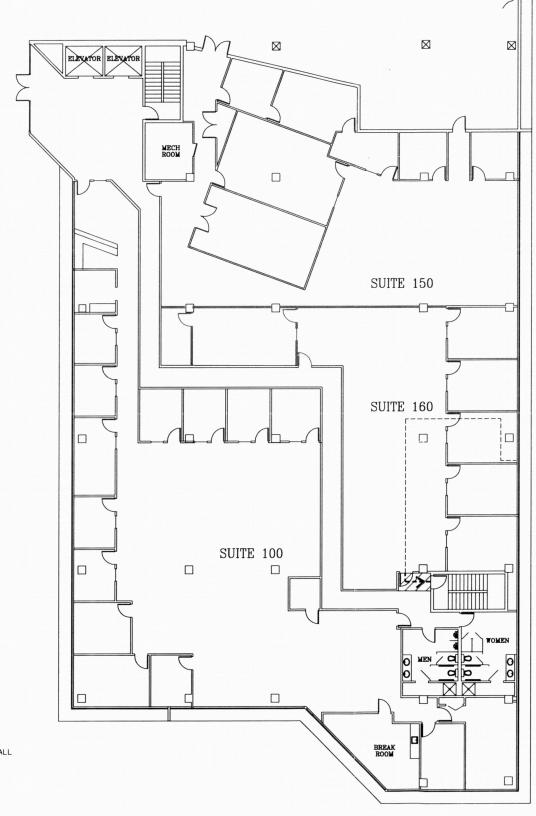
PERMIT SET 8-22-2012

CONSTRUCTION SETS\
SCRIBES STAT INC.WILLAMETTE PARK
PLAZA\SCIBES STAT
INC-T1



EGRESS PLAN

T-1



EGRESS SAFETY PLAN NOTES

MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.

EGRESS SAFETY PLAN LEGEND



PATH OF EGRESS ILLUMINATION - MEANS OF EGRESS ILLUMINATION SHALL NOT BE LESS THAN 1 FOOT-CANDLE (11 LUX) AT THE FLOOR LEVEL. THE POWER SUPPLY FOR THE MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF A POWER FAILURE, THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 F SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT, OR AN ON SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH 2004 D.S.S.C. SECTION 2702, PER 2004 D.S.S.C. SECTION 1006.3

EGRESS PLAN SCALE: NTS SUITE 160

EGRESS SUMMARY

1. COMMON PATH OF EGRESS TRAVEL (SECTION 1013.3, EXCEPTION 1.) THE LENGTH OF A COMMON PATH OF EGRESS TRAVEL IN DCCUPANCY GROUPS B.F AND S, SHALL NOT BE MORE THAN 100 FEET, PROVIDING THAT THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1

COMPLIANCE: MAXIMUM PATH OF EGRESS TRAVELS - 8 FEET

2. TRAVEL DISTANCE LIMITATIONS, (SECTION 1015.1)
EXITS SHALL BE LOCATED ON EACH STORY SUCH THAT THE MAXIMUM LENGTH OF EXIT ACCESS TRAVEL, MEASURED FROM THE MOST REMOTE POINT WITHIN A STORY TO THE ENTRANCE TO AN EXIT ALONG THE NATURAL AND UNDBSTRUCTED PATH OF EGRESS TRAVEL, SHALL NOT EXCEED 300 FEET. (SEE TABLE 1015.1)

COMPLIANCE: MAXIMUM TRAVEL DISTANCE - 80 FEET

3. EXIT OR EXIT ACCESS DOORWAYS REQUIRED (SECTION 1014.1) TWO EXITS OR EXIT ACCESS DOORWAYS FROM ANY SPACE SHALL BE PROVIDED THE OCCUPANT LOAD OF THE SPACE EXCEEDS 50. (SEE TABLE 1014.1)

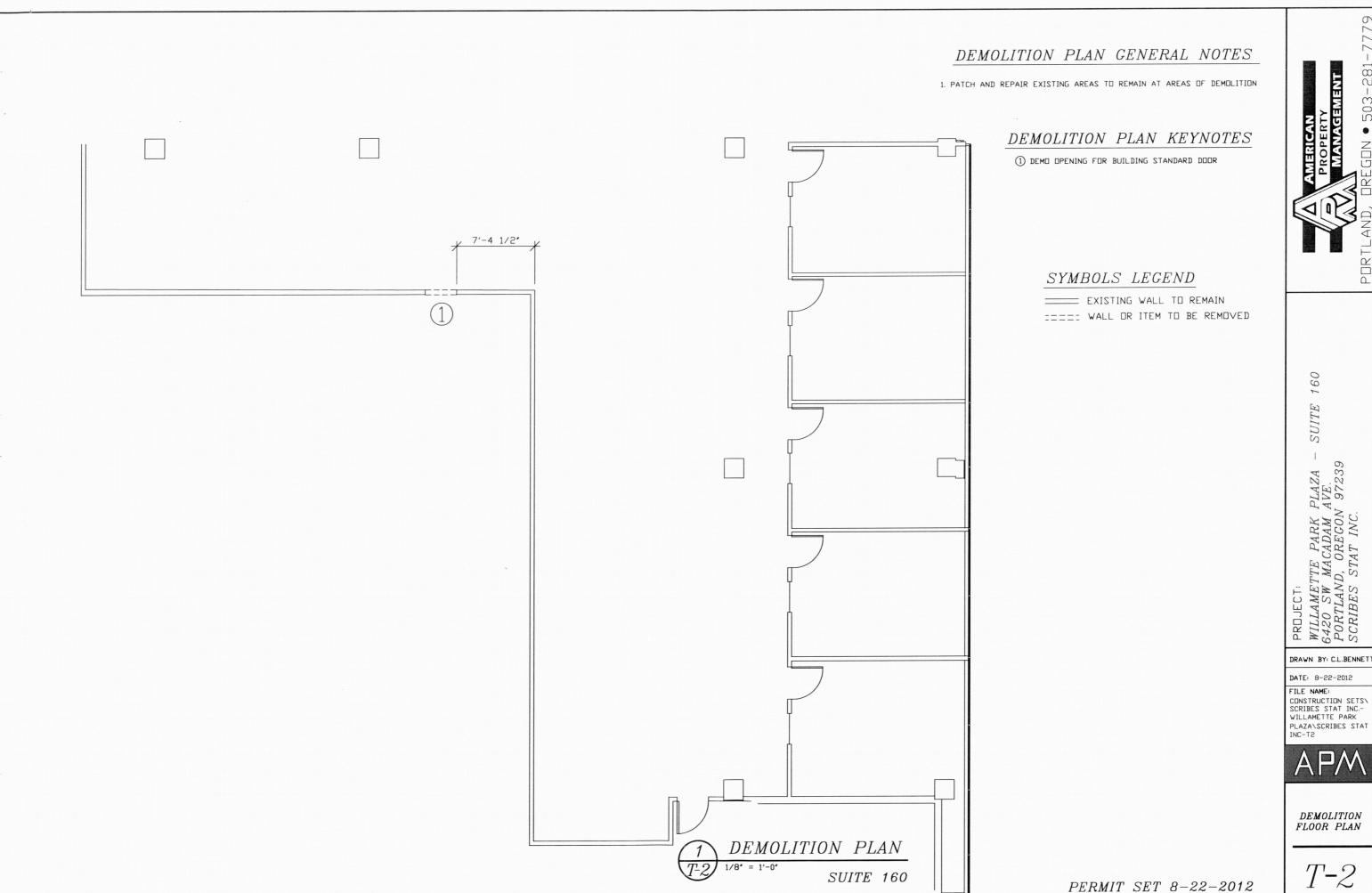
COMPLIANCE: EXIT DOORS REQUIRED - 2 COMPLIANCE: EXIT DOORS PROVIDED - 3

4. TWO EXITS OR EXIT ACCESS DOORWAYS, (SECTION 1014.2.1, EXCEPTION 2) WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 DR 903.3.1.2, THE SEPERATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN DNE-THIRD OF THE LENGTH OF THE MAXIMUN OVERALL DIMENSION OF THE AREA SERVED.

COMPLIANCE: MAXIMUM SEPARATION REQUIRED - N/A

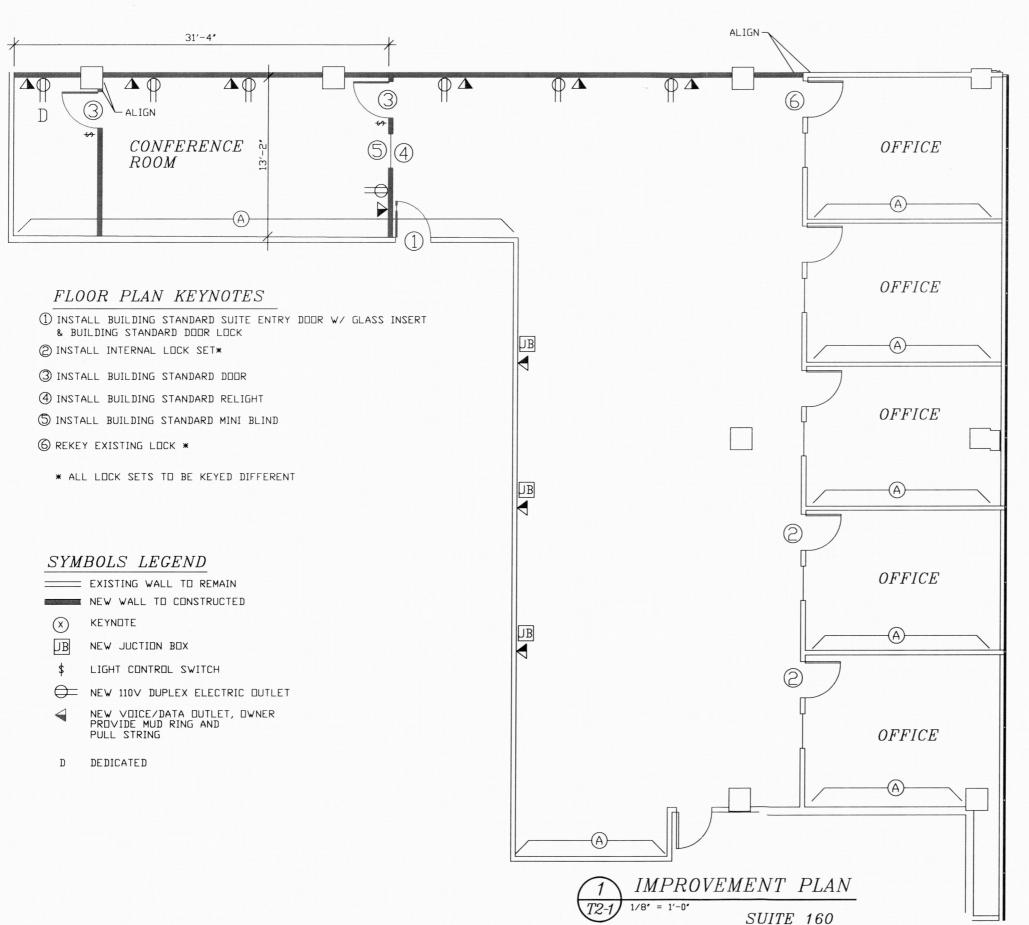
COMPLIANCE: MAXIMUM SEPARATION PROVIDED - N/A

PERMIT SET 8-22-2012



DRAWN BY: C.L.BENNETT





FLOOR PLAN GENERAL AND FINISH NOTES

1. WALL TYPE 'B' UNLESS OTHERWISE NOTED

2. PAINT:

* BRAND: RODDA

* CDLDR: #8522 / SKIN LIGHT

* ACCENT COLOR: #8520 / BALSAM BROWN (A)

3. FLOOR COVERING:

* RECARPET PREMISES

* COLOR: #529 / SCHOOL NEWSPAPER

* COVE BASE TO BE: #523 / BROWN BLACK

4. LIGHTING

* ALL EXISTING LIGHT FIXTURES TO REMAIN AS IS. EXCEPT LESSOR TO REPOSITION LIGHT FIXTURES PER SHEET 'T3'

5. FLECTRICAL:

* ALL EXISTING ELECTRICAL TO REMAIN AS IS,

* INSTALL NEW 110V DUPLEX DUTLETS PER SHEET 'T2-1'

* INSTALL NEW VOICE DATA DUTLETS PER SHEET 'T2-1'

* INSTALL (2) 'J' BOXES ABOVE CEILING GRID

6. CEILING:

* THE EXISTING CEILING SYSTEM WILL REMAIN AS IS, EXCEPT LESSOR WILL REPLACE STAINED OR BROKEN CEILING TILES PRIDE TO COMMENCEMENT DATE, UNLESS CEILING TILE DAMAGE IS CAUSED BY LESSE'S VOICE DATA INSTALLATION.

7. LOCKS & HARDWARE:

* INSTALL BUILDING STANDARD LOCK ON NEW SUITE

* ALL INTERIOR DOORS ARE TO BE SUPPLIED WITH PASSAGE DOOR KNOBS (NO LOCKS)

* LESSOR TO PROVIDE 15 SUITE ENTRY DOOR KEYS.

. LESSOR TO PROVIDE 15 BUILDING ENTRY KEYS.

• LESSOR TO PROVIDE 15 COMMON RESTROOM KEYS.

8. WINDOWCOVERINGS:

* CLEAN ALL EXISTING COVERINGS ON EXTERIOR WINDOWS.

* ENSURE ALL EXISTING COVERINGS ARE OPERATING PROPERLY.

* INSTALL BUILDING STANDARD MINI BLINDS PER SHEET 'T2-1'

ACCESSIBLE DESIGN & CONSTRUCTION STANDARDS

1. CONTROLS AND HARDWARE, SECTION 1109.3.2, OPERATIONS:
HANDLES, PULLS, LATCHES LOCKS AND OTHER OPERATING DEVICES ON DOORS
CABINETS, PLUMBING FIXTURES AND OTHER STORAGE FACILITIES SHALL HAVE
LEVER OR OTHER SHAPE PERMITING OPERATION BY WRIST OR ARM PRESSURE
AND NOT REQUIRING TIGHT-GRASPING, PINCHING OR TWISTING MOVEMENTS TO
OPERATE. THE FORCE REQUIRED TO ACTIVATE SUCH EQUIPMENT, OTHER THAN
EXTERIOR DOORS, SHALL BE NO GREATER THAN 5 POUNDS-FORCE. DOORS SHALL
COMPLY WITH SECTION 1109.9.2004 DSSC.

2. DODRS, SECTION 1109.9.7, DODR CLOSERS:
WHERE PROVIDED, DODR CLOSERS SHALL BE ADJUSTED TO CLOSE FROM AN OPEN
POSITION OF 70 DEGREES ON NOT LESS THE 3 SECONDS, TO A POINT 3 INCHES
FROM THE LATCH, WHEN MEASURED TO THE LEADING EDGE OF THE DODR.

3. DDDRS, SECTION 1109.9.9, DPENING FORCE: THE DPENING FORCE ALDNG AN ACCESSIBLE ROUTE SHALL BE AS FOLLOWS: 1. EXTERIOR DDDRS: 8.5 POUNDS-FORCE. 2. INTERIOR DDDRS: 5 POUNDS-FORCE.

PERMIT SET 8-22-2012

MANAGEMENT 281 503-PDR

SUITEPRUJECT:
WILLAMETTE PARK PLAZA –
6420 SW MACADAM AVE.
PORTLAND, OREGON 97239
SCRIBES STAT INC.

160

DRAWN BY: C.L.BENNETT

DATE: 8-22-2012

INC-T2-1

FILE NAME: CONSTRUCTION SETS\ SCRIBES STAT INC.-WILLAMETTE PARK PLAZA\SCRIBES STAT

IMPROVEMENT FLOOR PLAN

T2-1

EXISTING 2X4 LAY-IN EMERGENCY

EXISTING 2X4 LAY-IN LIGHT FIXTURE CONVERT TO EMERGENCY LIGHTING

LIGHTING

PLAZA – SUITE 160
AVE.
V 97239

RAWN BY: C.L.BENNETT

DATE: 8-22-2012 FILE NAME:

CONSTRUCTION SETS\
SCRIBES STAT INC.WILLAMETTE PARK
PLAZA\SCRIBES STAT
INC-T3

APM

REFLECTED CEILING PLAN

T**-**3

EXISTING HVAC REGISTER - RETURN

--- EXISTING HVAC REGISTER - SUPPLY

EXISTING

A

EXIT SIGN - ILLUMINATED

TO BE ADDED

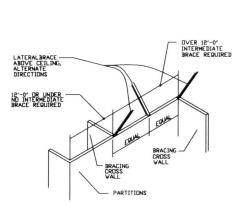
--- EXIZIING HVAC KEGIZIEK -

PERMIT SET 8-22-2012

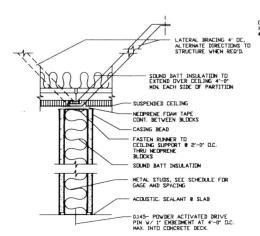
VALUES LISTED ARE BASED ON STEEL STUD MANUFACTURERS' ASSOCIATION (SSMA) TABLES FOR NON-STRUCTURAL COMPOSITE SECTION IN INTERIOR APPLICATIONS (5 PSF) WITH DEFLECTION LIMIT OF H/120.

- VALUES FOR COMPOSITE SECTION REQUIRES MINIMUM 1/2 INCH THICK GYPSUM BOARD ON BOTH SIDES W/#6 SCREWS AT 12 INCHES O.C. MAX.
- 2. HEIGHT LIMITS ARE LESS WHERE GYPSUM BOARD IS ON ONE SIDE. PROVIDE BLOCKING OR STRAPPING ON OPPOSITE SIDE AND USE NON-COMPOSITE SECTION VALUES.

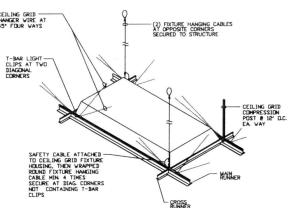




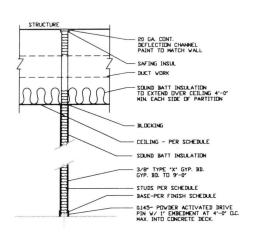














DREGON • 503-281-7779 ROPERTY MANAGEMENT AMERICAN PORTLAND,

PROJECT:
WILLAMETTE PARK PLAZA –
6420 SW MACADAM AVE.
PORTLAND, ORECON 97239
SCRIBES STAT INC.

160

SUITE

DRAWN BY: C.L.BENNETT

DATE: 8-22-2012

FILE NAME: CONSTRUCTION SETS\ SCRIBES STAT INC.-WILLAMETTE PARK PLAZA\SCRIBES STAT

APM

DETAILS