

# DESIGN REVIEW

## FREMONT APARTMENTS

TVA ARCHITECTS

LINCOLN PROPERTY COMPANY LLC

SEPTEMBER 28, 2017



**OWNER**

LINCOLN PROPERTY COMPANY  
1211 SW 5th Avenue  
Suite 700  
Portland, OR 97204  
  
503.673.2800

**ARCHITECT**

TVA ARCHITECTS  
920 SW 6th Avenue  
Suite 1500  
Portland, Oregon 97204  
  
503.220.0668

**STRUCTURAL ENGINEER**

DCI ENGINEERS  
707 W 2nd Avenue  
Spokane, WA 99201  
  
509.455.4448

**CIVIL ENGINEER**

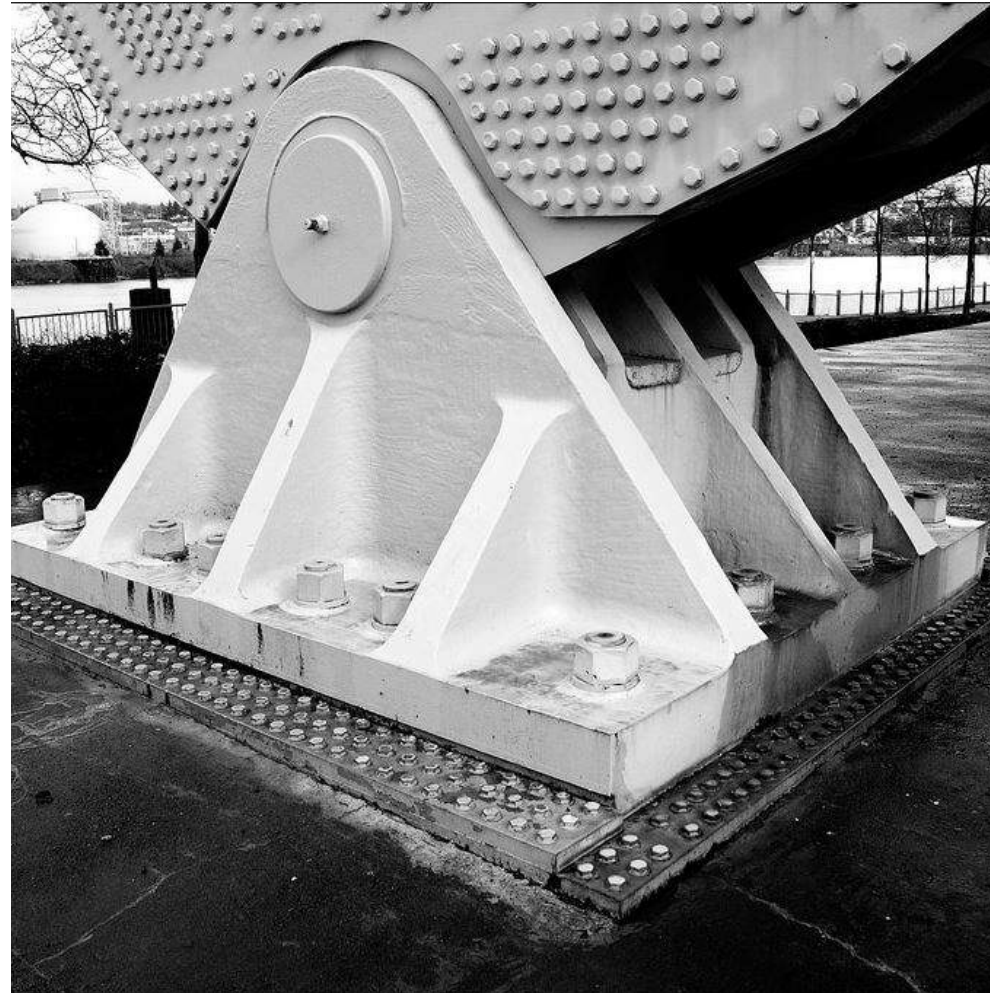
DAVID EVANS & ASSOCIATES  
2100 SW River Parkway  
Portland, OR 97201  
  
800.721.1916

**LANDSCAPE ARCHITECT**

PLACE  
735 NW 18th Avenue  
Portland, OR 97209  
  
503.334.2080

**GEOTECHNICAL**

GeoDesign, Inc.  
15575 SW Sequoia Parkway  
Suite 100  
Portland, Oregon 97224  
  
503.968.8787





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**APP. 06** NW CORNER - DAY & NIGHT





**ADDRESS** 1650 NW NAITO PARKWAY  
PORTLAND, OREGON  
97209

**PROPERTY ID** R298550

**TAX ID** 1N1E28DD -00400

**ZONING** EX - CENTRAL EMPLOYMENT  
RX - CENTRAL RESIDENTIAL

**OVERLAY** d - DESIGN OVERLAY  
g - GREENWAY OVERLAY - RIVER GENERAL

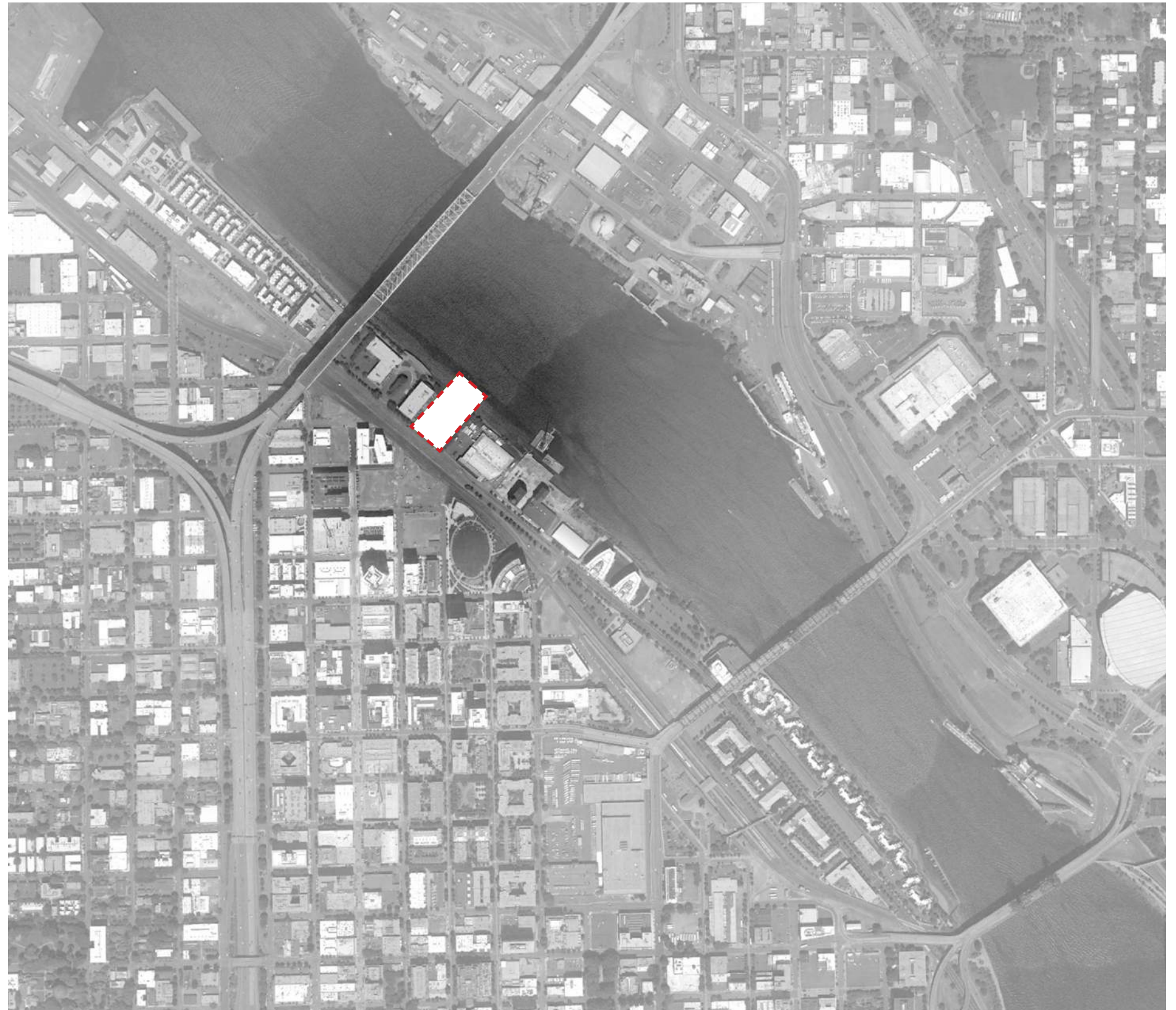
**PLAN DISTRICT** CC - CENTRAL CITY

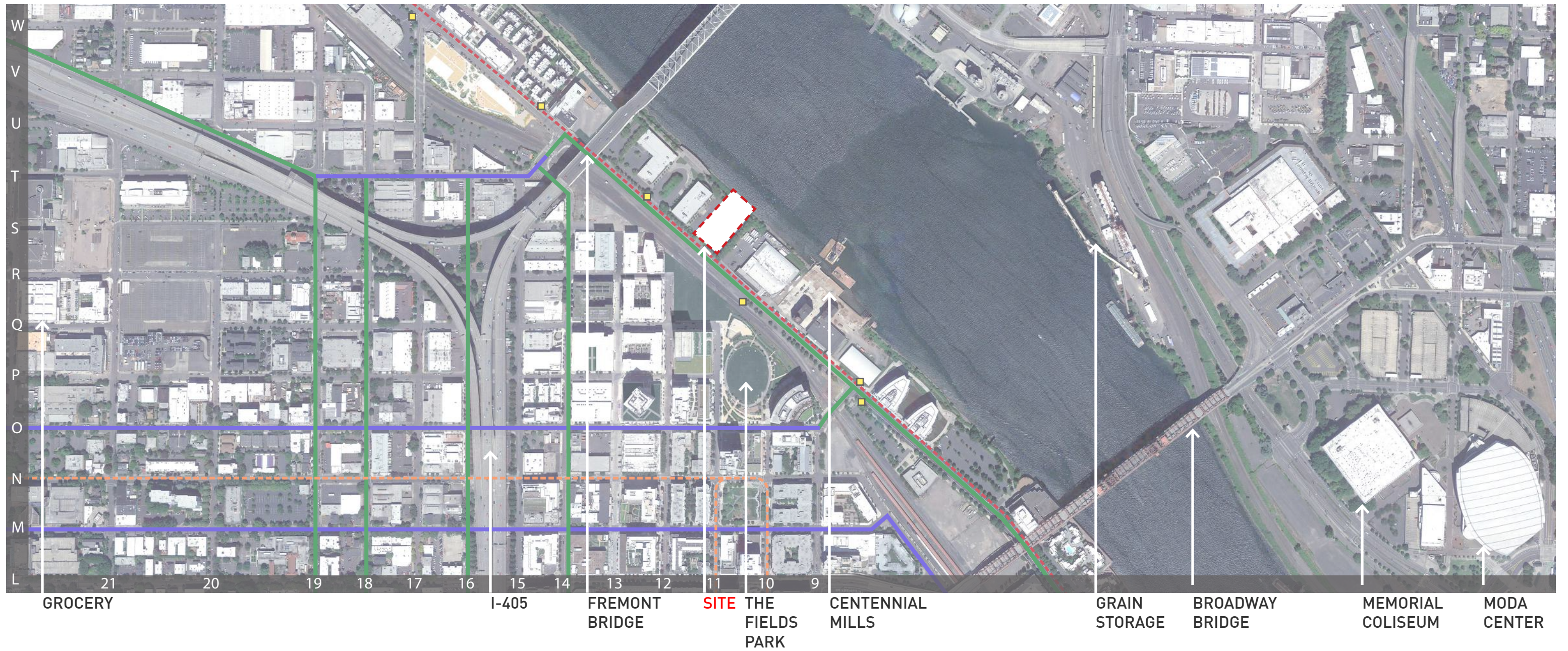
**SUBDISTRICT** RIVER DISTRICT

**SUBAREA** NORTH PEARL

**NEIGHBORHOOD** PEARL

**GUIDELINES** TITLE 33 PLANNING AND ZONING CODE  
CENTRAL CITY FUNDAMENTAL DESIGN  
RIVER DISTRICT DESIGN GUIDELINES  
WILLAMETTE GREENWAY PLAN







new greenway connection to the north



2-story office building



deck overlooking river and bridge



3-story office building



greenway trail adjacent to site



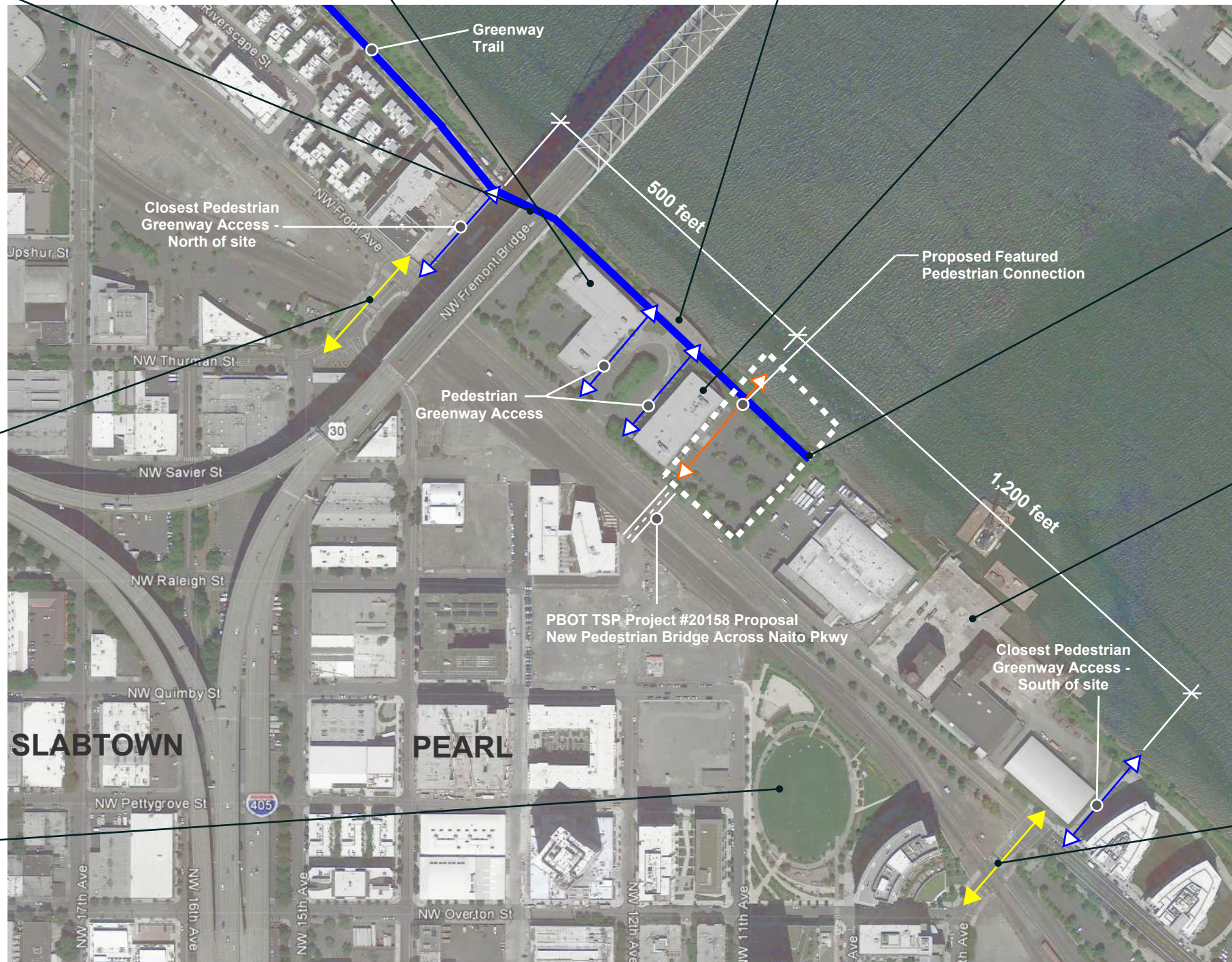
new greenway connection to the north



pedestrian crossing to the north



fields park



greenway trail terminates



centennial mills



pedestrian crossing to the south



SITE LOOKING NORTH



SITE LOOKING SOUTH



SITE LOOKING EAST



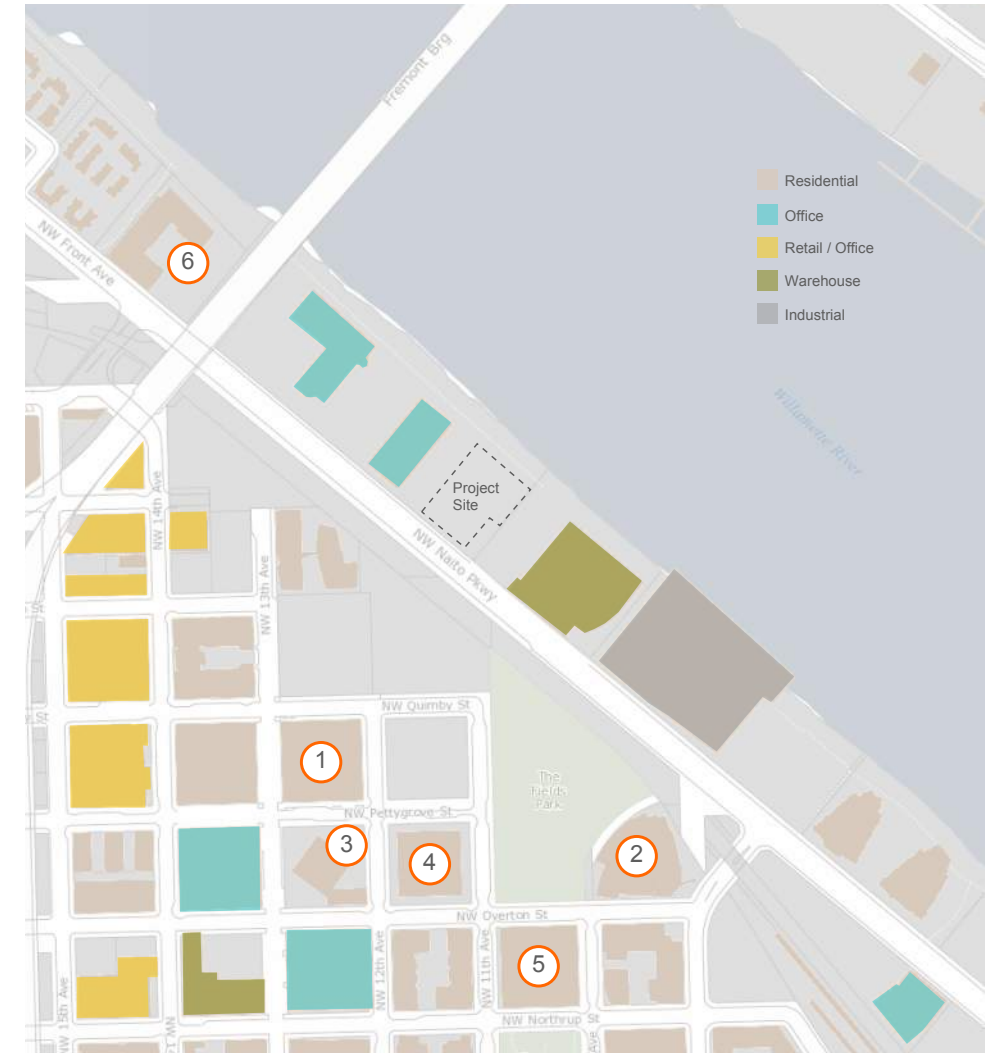
SITE LOOKING WEST



1 THE PARKER APARTMENTS | 12th & Pettygrove



2 THE ENCORE | 9th & Overton



3 NV | 12th & Overton



4 BLOCK 17 APARTMENTS | 11th & Overton



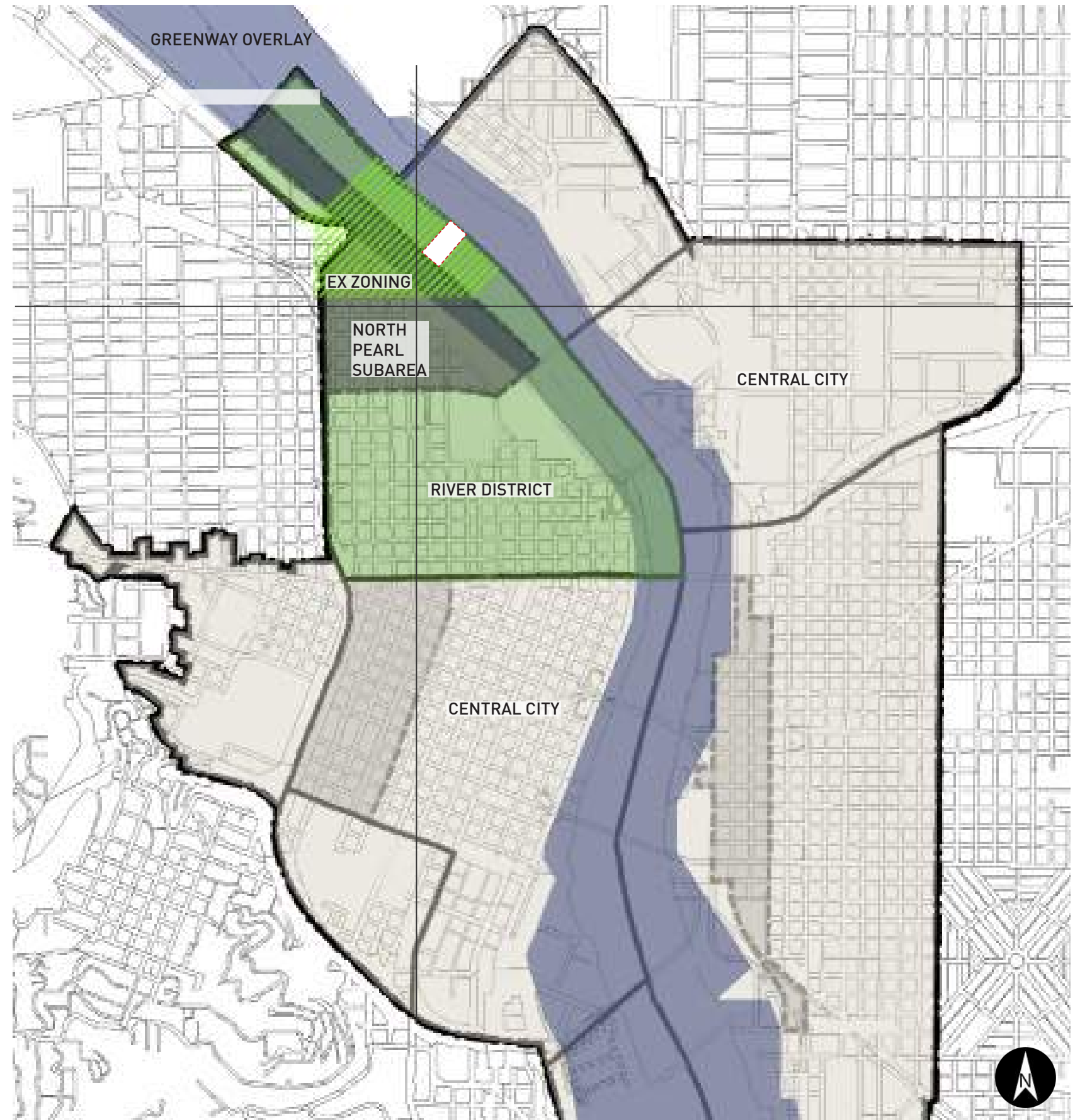
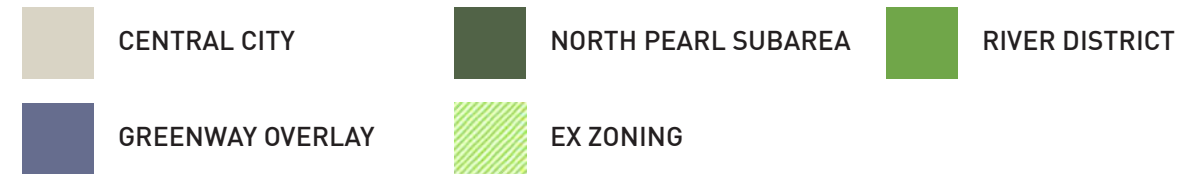
5 COSMOPOLITAN PEARL | 10th & Northrup



6 BRIDGETOWN LOFTS | 1850 Front Ave

## ZONING SUMMARY

The site is located within several design overlay zones. The most general design guidelines are provided by the EX Zoning which guides FAR and setbacks. Within the city zoning, the site is within the bounds of the Central City Design District, which requires the application of the Central City Plan Guidelines and Planning & Zoning Chapter 33.510 - Central City Plan District. Within the central city design district the site is located in the River District, which requires the adherence to the River District Design Guidelines. The site is also located in the North Pearl Subarea which has requirements cited throughout 33.510. The site is also located in the Greenway Overlay, 33.440, which restricts volume and location of new construction.



## PRIMARY USE

Household living and retail are an allowed uses within EX zoning. See [33.140.100 Table 140-1].

Use Categories	EG1	EG2	EX	IG1
<b>Residential Categories</b>				
Household Living	CU	CU	Y	CU [1]
Group Living	CU	CU	L/CU [2]	N
<b>Commercial Categories</b>				
Retail Sales And Service	L/CU [3]	L/CU [3]	Y	L/CU [4]
Office	L [3]	L [3]	Y	L/CU [4]

## FAR

The maximum FAR in the EX base zone is 3:1. [33.140.210.B Table 140-3]

This limit is superseded by Central City Plan District Code which makes reference to Map 510-2 showing a maximum FAR of 2:1. [33.510.200]

The site's base FAR limit is allowed to increase by up to 3:1 additional FAR (for a total of 5:1 FAR) through FAR bonuses or transfers [33.510.200.C.1].

Standard	EG1	EG2	EX	IG1
Maximum FAR (see 33.140.205)	3 to 1	3 to 1	3 to 1 ①	no limit

① Superseded by Central City 33.510.200 referring to MAP 510-2

## HEIGHT

The maximum height in the EX base zone is 65 feet [33.140.210.B Table 140-3].

This requirement is superseded by Central City Plan District Code which makes reference to Map 510-3 illustrating a max height of 100 feet. [33.510.205]

The maximum height can be increased by an additional 75 feet of height with limited floor plate area. [33.510.210.C.2]

Standard	EG1	EG2	EX	IG1
Maximum Height (see 33.140.210)	45 ft.	no limit	65 ft ②	no limit

② Superseded by Central City 33.510.205 referring to MAP 510-3



ZONING MAP

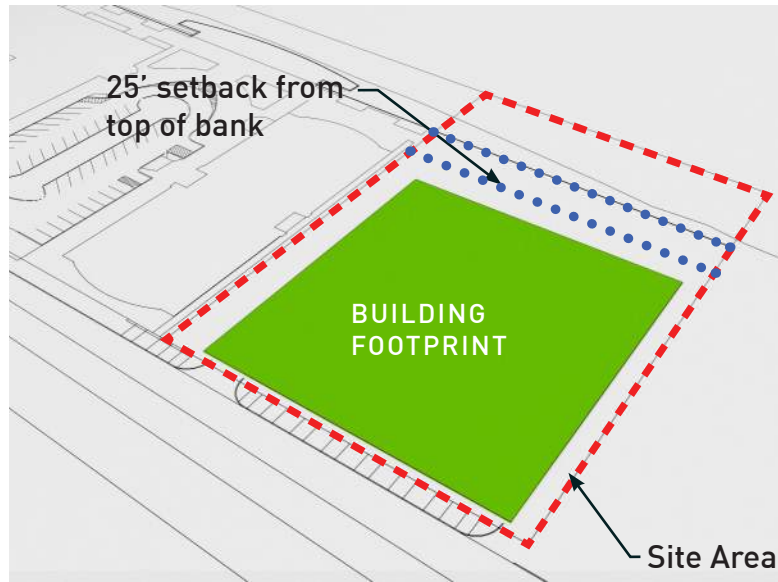


MAP 510-2 FAR



MAP 510-3 HEIGHT LIMIT

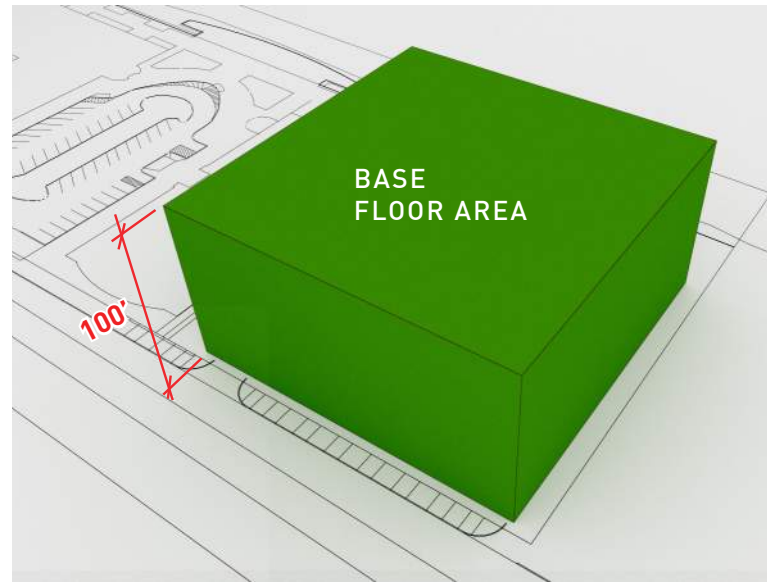




**SITE AREA = 80,245sf**

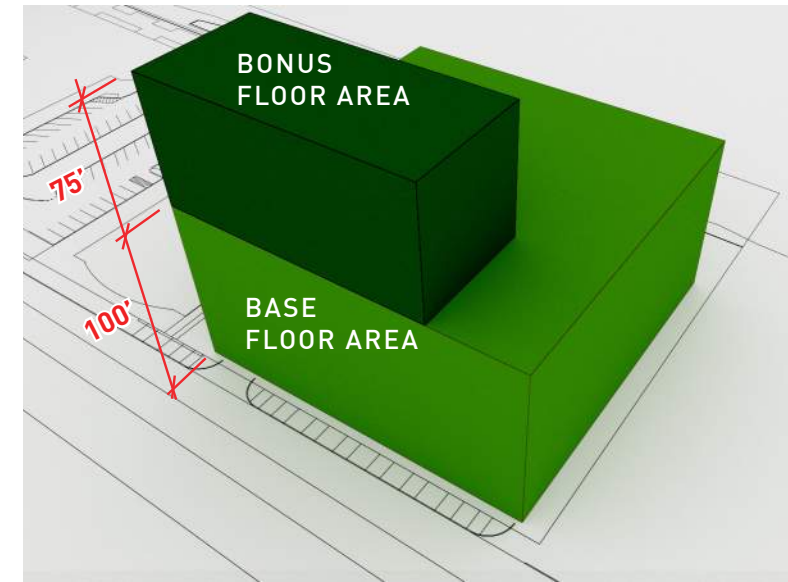
**MAXIMUM BUILDING FOOTPRINT = 200ft X200ft**

**GREENWAY SETBACK = 25ft**



**BASE F.A.R. = 2:1 = 160,490sf**

- Base floor area must be fully utilized below 100ft before bonus floor area is eligible above maximum height



**ADDITIONAL HEIGHT - 75ft**

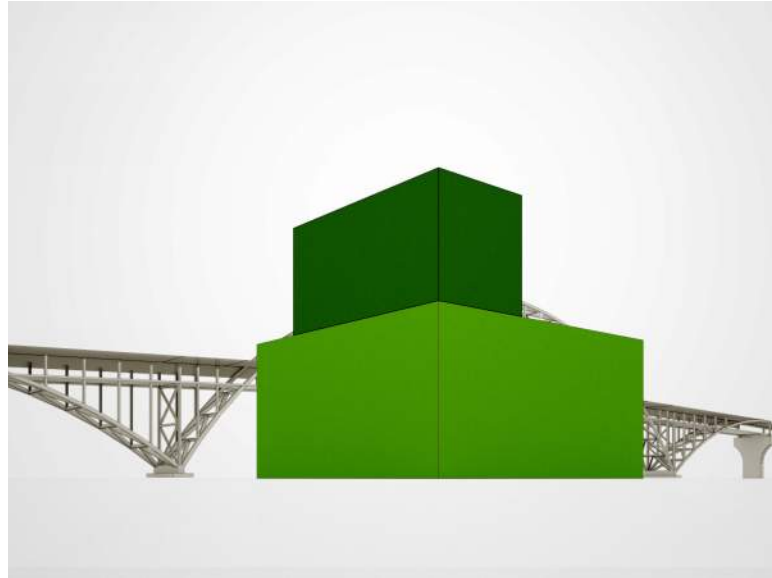
(North Pearl Subarea Height Opportunity Area)

- Floor area above 100ft must be earned through bonus FAR provision
- Floors above 100ft are limited to 12,500sf
- Facade length above 100ft must not exceed 120ft

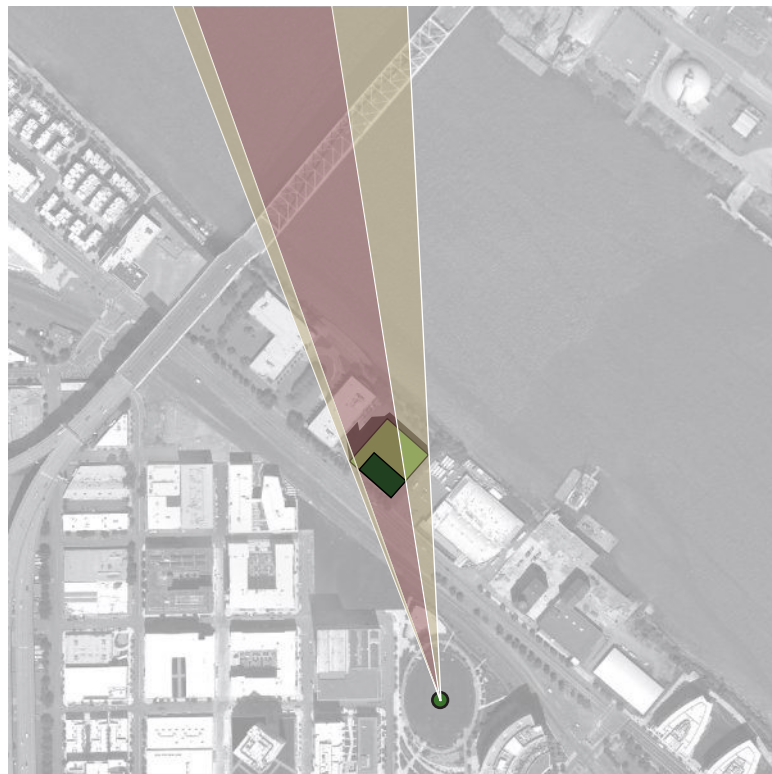
**BONUS F.A.R. - Residential Bonus Option**

- additional 1:1 ratio =  $160,490sf \times 2 = 320,980 sf$

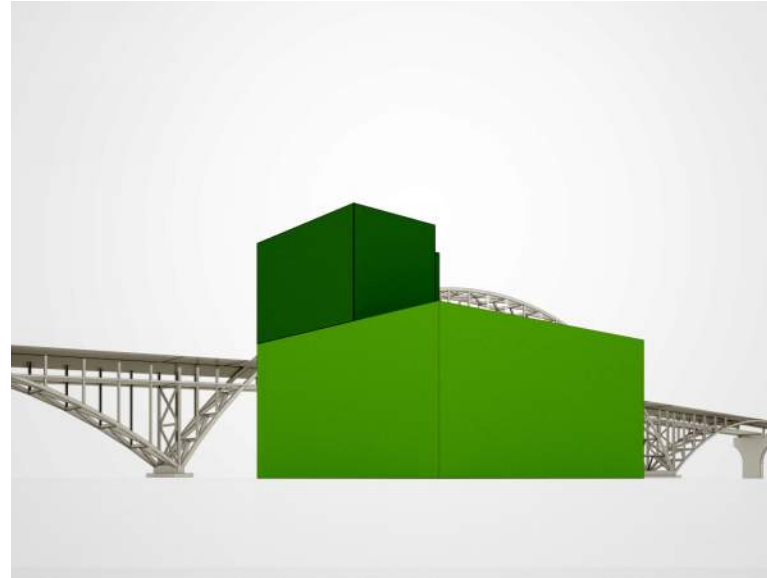
VIEW OBSTRUCTION - CONCEPTUAL MASS 1



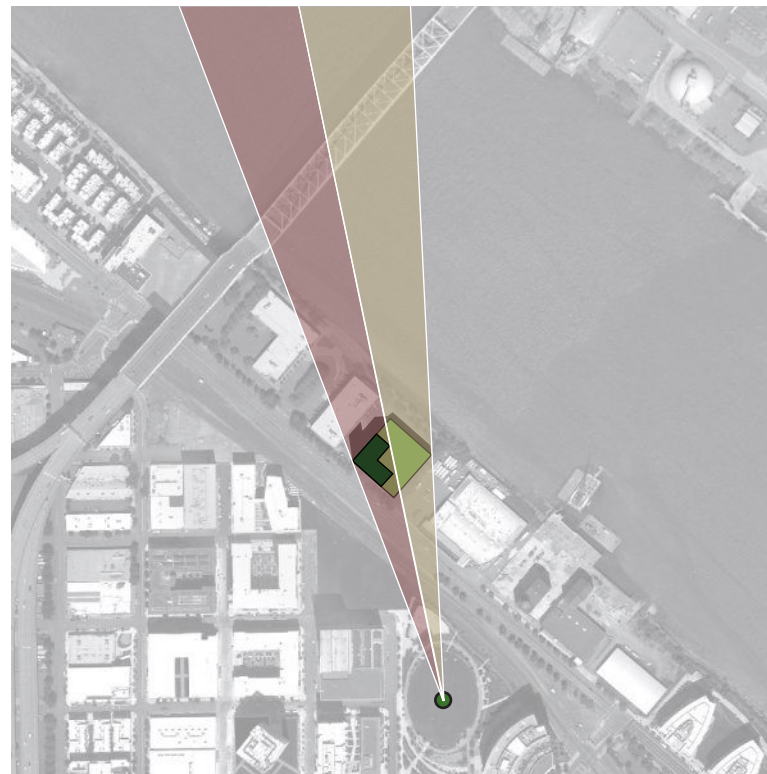
PODIUM - 200'L x 200'W x 100'H  
+  
TOWER - BAR-SHAPED ALONG WEST EDGE



VIEW OBSTRUCTION - CONCEPTUAL MASS 2



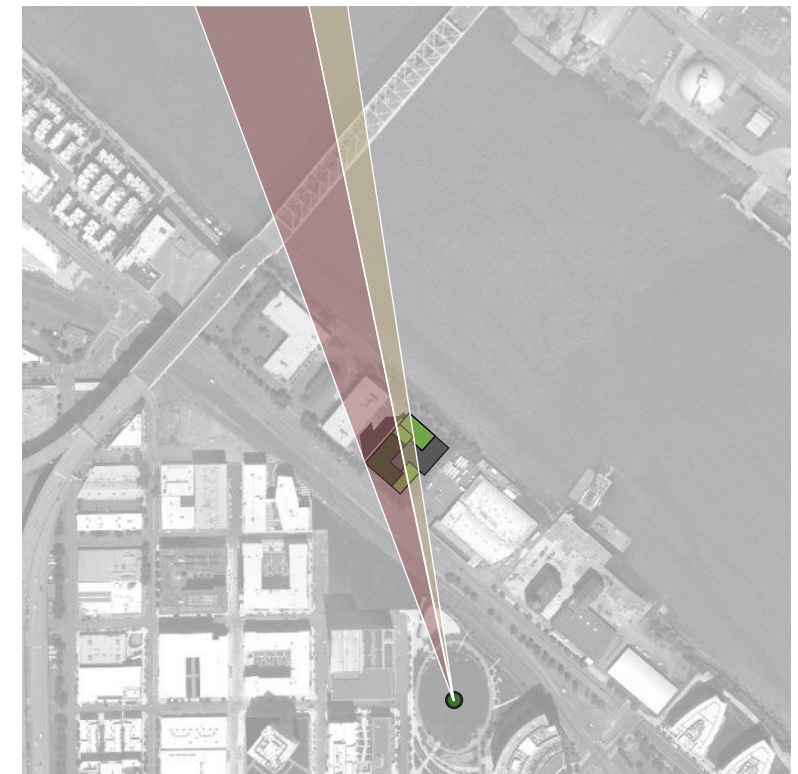
PODIUM - 200'L x 200'W x 100'H  
+  
TOWER - L-SHAPED @ NORTH CORNER



PROPOSED DESIGN



PODIUM - Mass broken down to allow more view to the bridge  
+  
TOWER - L-shaped form along Naito provides more view to the bridge



■ tower obstruction of bridge  
■ podium obstruction of bridge



## SIGHT LINES

Though the site has no specific view corridors or sightline-specific requirements, we have elected to allow the views from both the 11th Avenue corridor as well as nearby Fields Park to become major drivers of the form and configuration of the building.

As can be seen in the diagram at left, our building's tallest elements, floor levels 10-17 and the mechanical equipment screening, have been located to the westernmost corner of the site. These building elements, shown in the darkest green in the diagrams, are therefore the least impactful on views to the main span of the Fremont Bridge from the park and from 11th Avenue.

As is shown on the diagrams on the following page, the Fremont Apartment building's lower elements are also been configured with special attention paid to the impact of the building on views to the Fremont Bridge. To further this concept, as you will see later in the package, we have incorporated balconies at nearly all of the building's corners, which are not only great amenities for tenants, but which help to further break down the mass.

The massing of the building is configured to provide as slender a profile as possible to the Pearl District to the south.

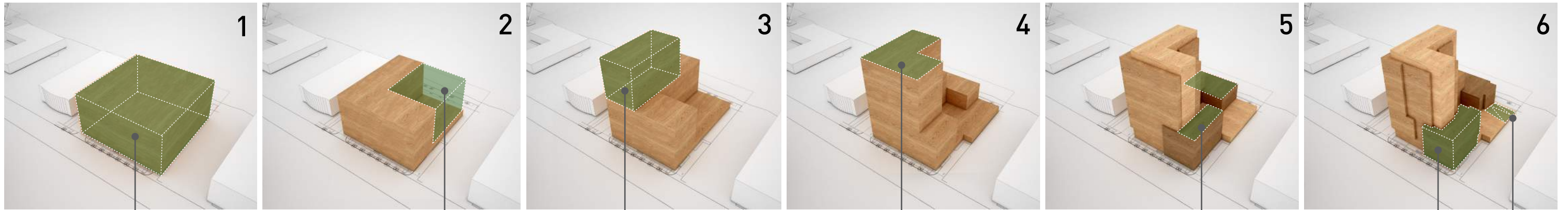
## PROPOSED MASSING

**PODIUM** - Mass broken down to allow more view to the bridge and to transition to massing of nearby structures

**TOWER** - L-shaped form reduces profile to Naito and the Pearl and provides increased visibility to the bridge



view from south



allowable base massing

SE corner cutout for less obstructed views of fremont bridge from pearl district

allowable bonus residential floor area

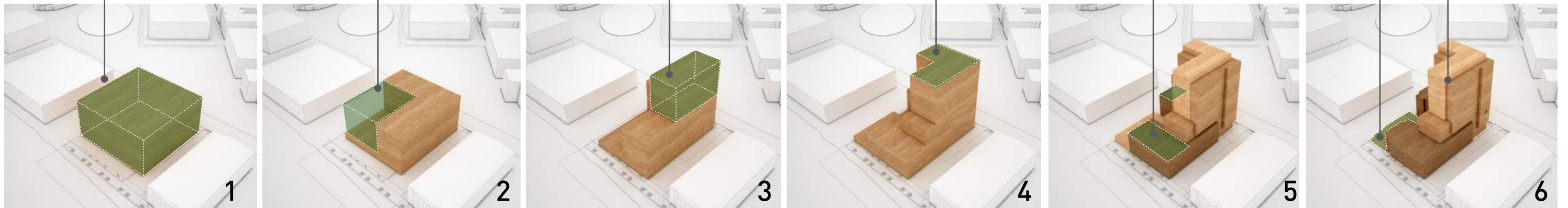
12,500sf allowable tower footprint above 100' height, oriented to have the least obstructed view from fields park, 11th and 12th ave

extended roof gardens & outdoor communal spaces

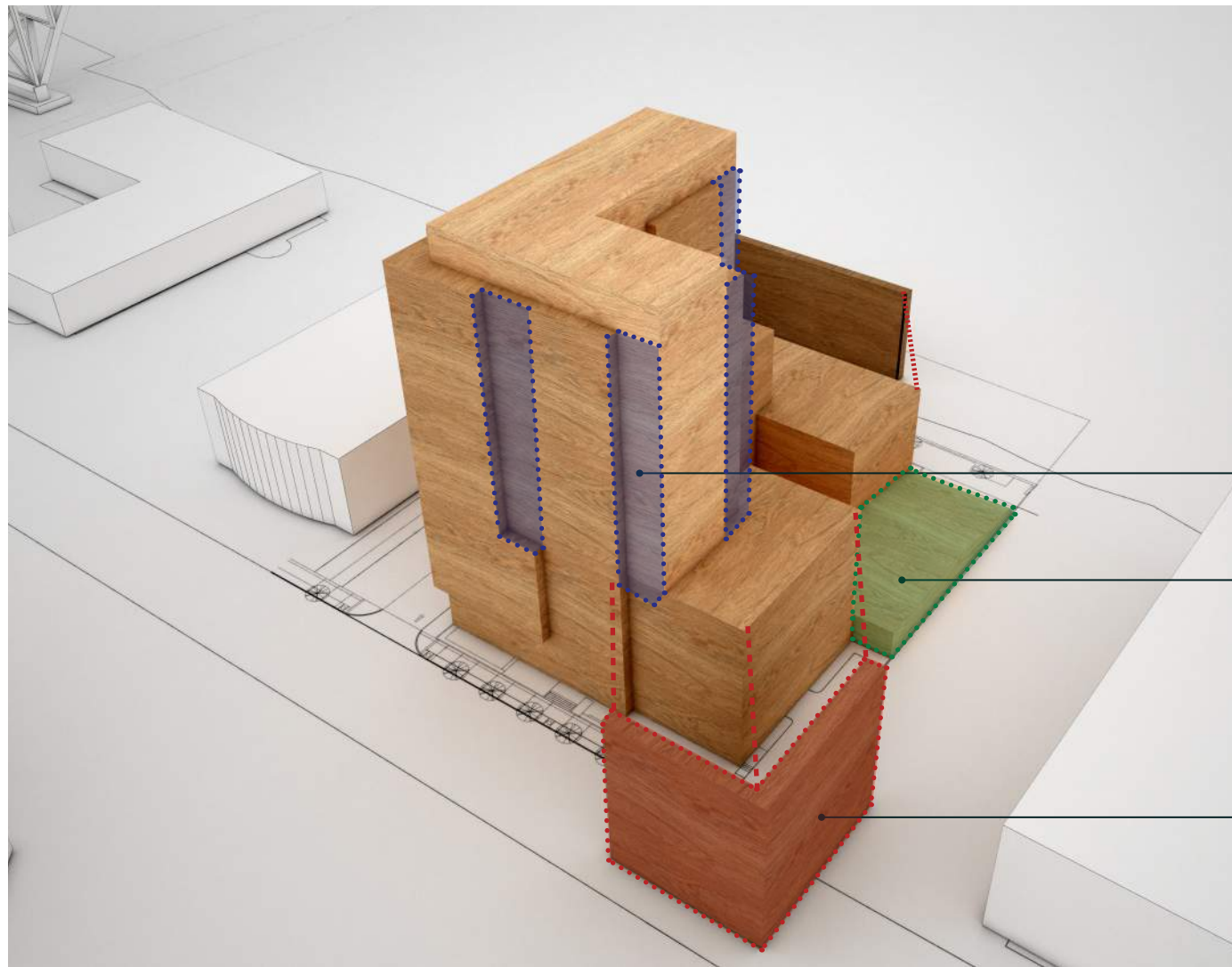
extruded corner to match urban context

cascading landscape on level 2 roof visually connects to the greenway

view from north



disintegration of corners with balconies to create a more slender mass



SLIMMING TOWER MASS BY PEELING AWAY FACADE LAYERS AND ALLOWING BALCONIES TO OCCUPY THE CORNERS

VISUAL & CONTEXTUAL CONNECTION OF ROOF GARDEN WITH GREENWAY

ARCHITECTURE AND VOLUME DERIVED FROM CONTEXT

AERIAL VIEW - SOUTHWEST



PODIUM ELEMENT



INSPIRATION + DRIVERS



TOWER ELEMENT



INSPIRATION + DRIVERS





“The tower should be more pure and glassy. Right now it is too fussy.”

the window wall has been simplified, with extraneous mullion patterns removed. the tower element now consists of spandrel (required for energy compliance), louvered elements for integrated ventilation, and fully-glazed corners

“The central “zipper” on the tower would be cleaner if glazing just extended into the corner.”

the ‘zipper’ element has been removed in favor of a much more simplified fenestration. opaque elements have remained inside corner as compositional elements but primarily as a reaction to the need for visual privacy between adjacent units.

“The lower mass that extends from the tower at the north end doesn’t work and needs to be resolved. Referred to as a ziggurat during the discussion.”

this portion of the building’s mass has now been integrated with the mass and palette of the adjacent tower element and has been better stitched into the overall composition with flanking corner balconies

“Balconies should be retained throughout the building and more should be integrated on the east (river) façade.”

balconies have been maintained throughout the building and additional balconies are now included at the transition to the ‘lower mass’ referenced in the above comment. Juliette balconies have been extensively used on the podium element.

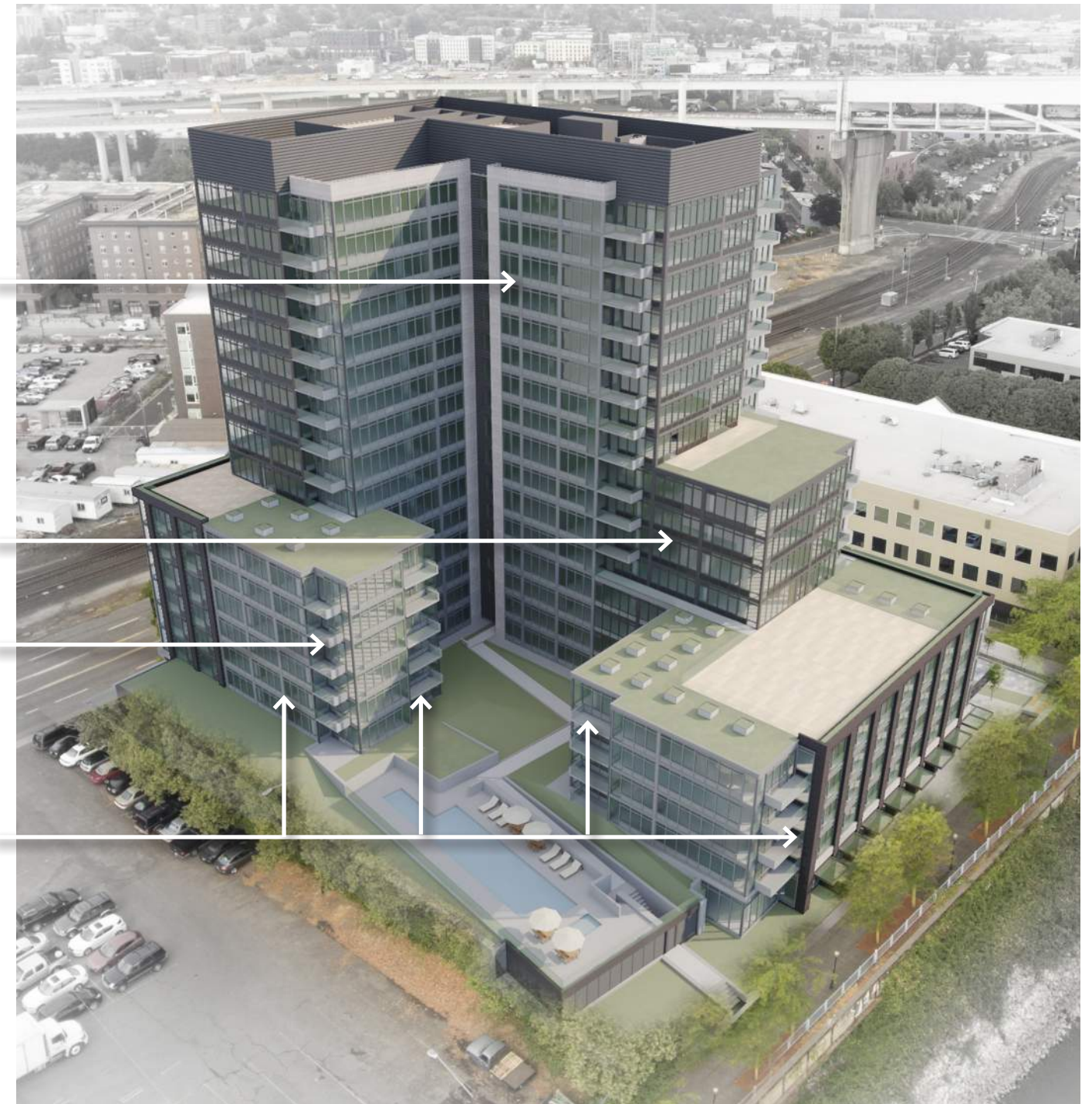
“The east elevation is the least resolved. If a geode concept was intended it needs to be taken further.”

the east elevation (and SE perspective views) have been refined significantly to better integrate the balconies and to allow the window wall components of the podium to more cleanly slide behind the masonry podium elements and better address the transitions. the refinement of the tower elements (darker palette on the tallest elements) provides additional contrast to the interior of the SE-facing portions of the building.



“The south end wall needs to be purposeful. Materials and detailing will be key.”

the south end wall has now been designed as a composition of cast-in-place concrete and metal panels. the wall now steps along with the level transitions at the second floor terrace, providing increased visual interest.





“The east-west open space at the northern end of the site is acceptable so long as the required shadow analysis meets the code requirements.”

the east-west open space has been expanded significantly in the site reconfiguration that resulted from our DAR. this space is now designed as a large-scale, multi-function piazza with clear pedestrian circulation and event spaces. though the space does not technically meet the shadow requirement due to the unusual rotation of this parcel, the open space will be flooded with light through the afternoon hours. the open space is also substantially larger than what is required

“The stormwater planter in the northern courtyard should be rotated to be east-west rather than north-south, allowing more useful and accessible space for people.”

the planter has been redesigned and is now oriented in the east-west direction along the northern property line

“The bench and berm at the east end of the courtyard should be lower or removed to be able to see the river as a terminus.”

the bench and berm in question have been removed in the redesign of this area

“Along Naito, the mid-block ramp up to the retail acts a barrier along the sidewalk and is not elegant. The Emory in South Waterfront was referenced as an example of a successful ramp design (straight run).”

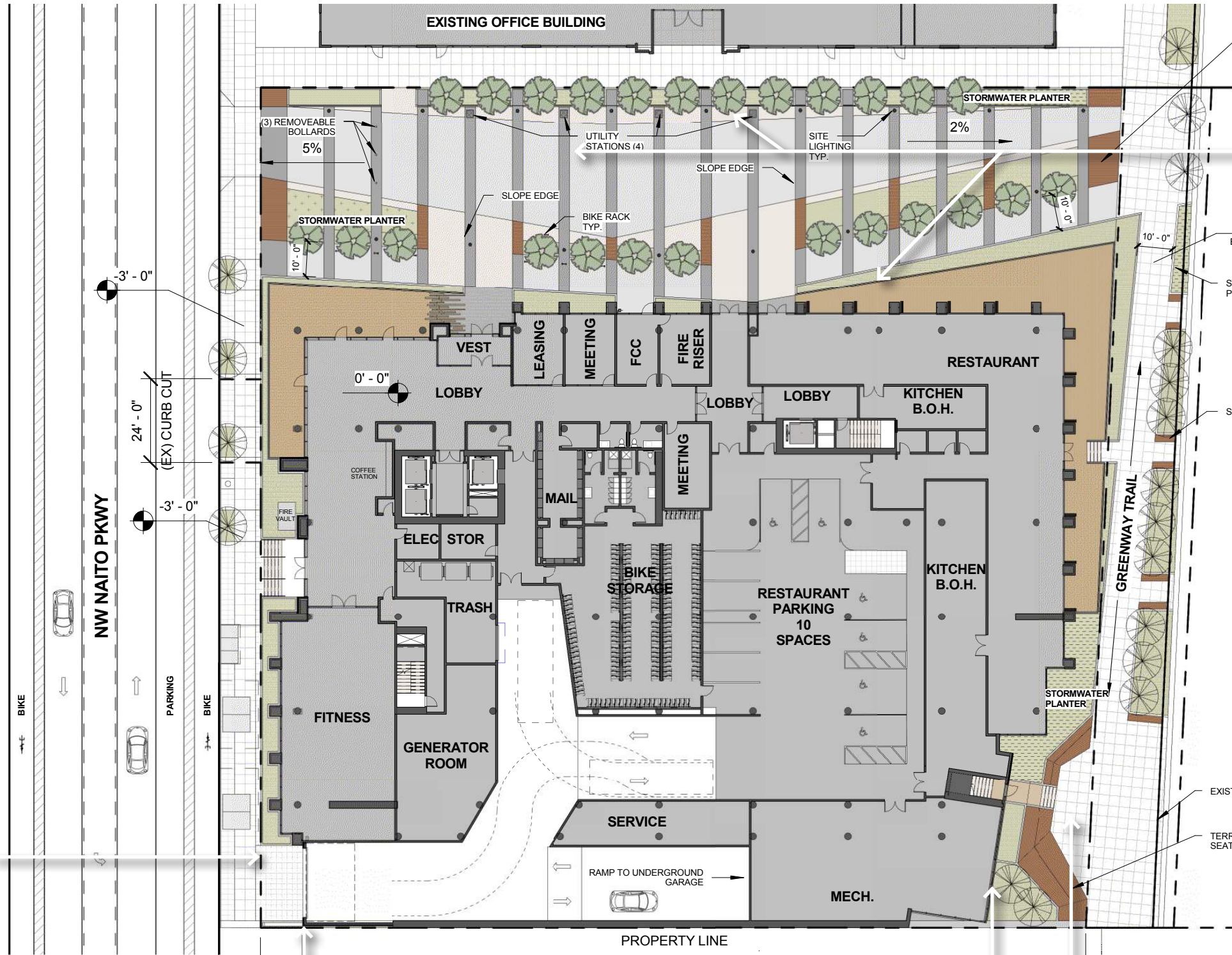
the mid-block ramp has been removed

“The garage access and loading need to be consolidated at the south end so the northern courtyard space is limited to pedestrians, bikes and outdoor activities.”

the site and building plans have been revised to consolidate the service, garage access, and loading at the southern end of the parcel

“At the south end on Naito, the building face should be extended to enclose the loading and parking garage access and create a street wall. Work with PBOT and BDS Staff on the gate locations.”

the building face at the garage entry has been pulled toward the west property line to remove the ‘alley’ effect that was concerning to the commissioners.



“If retail is considered along the north and east ground levels, a potential discussed at the hearing, the Commission and Staff would work with the project team to explore options to locate the loading at the north end closer to the retail.”

the north plaza design, in order to bolster the chances of success for the commercial/restaurant space(s) on the north and east facades, is designed as a more ‘universal’ space, functioning like a piazza or market square that would allow for periodic use by delivery or vehicles as needed for the functioning of this space. a 20’ curb cut is proposed at naito parkway at the western edge of the open space. on the northern edge of the piazza, we are incorporating utility hookups to allow for special-event use by foodtrucks or festival vendors. in doing this, it is our intention to pull the activity and visibility of the restaurant/commercial space toward the higher-visibility frontage at naito parkway.

“If ground level residential units remain along the greenway trail, there should be a more generous setback from trail.”

ground level residential units have been removed from this area in favor of the restaurant/foodhall concept

“Support was expressed for retail and commercial uses along the ground floor at the north and east frontages.”

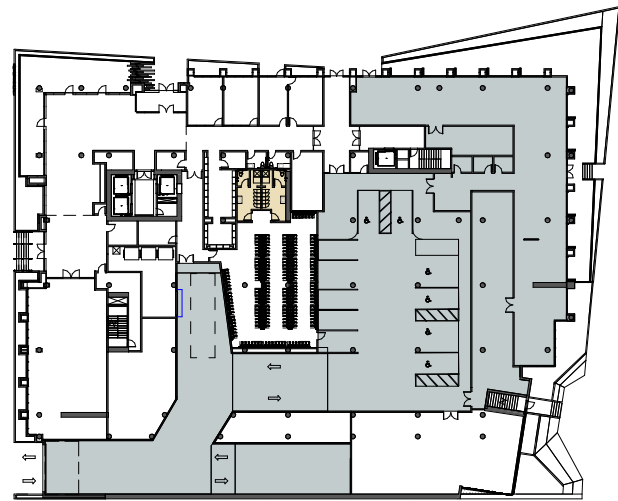
commercial space, intended to be a destination restaurant or foodhall, has been included on the north and east

“Residential amenity space along Naito would be acceptable given the focus of the active frontage along the river and greenway connection.”

amenity spaces, including lounge space, a residents’ cafe, and fitness studio, are now located on the naito frontage.

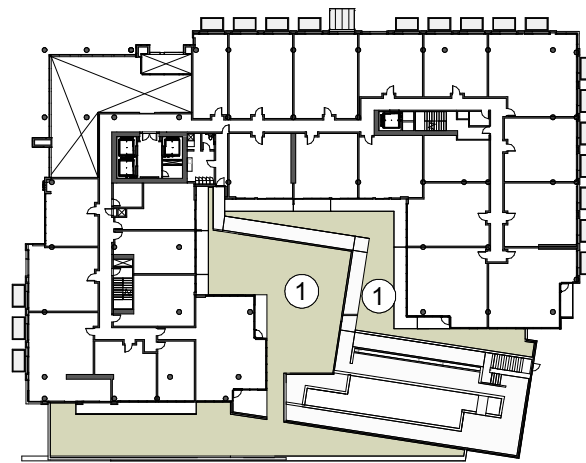
“Work on the transition between the roof terrace at the south end and the greenway trail. Look at potential security issues at this location since the trail ends at the south property line. Extending the ground floor was an option discussed.”

this area has undergone considerable redesign based on input received at the DAR hearing. the building face has been pulled back from the greenway trail to allow a larger landscaped zone at what is currently the ‘end’ of the trail on this portion of the riverfront. additionally, the notion of an integrated, secure gateway that was recommended has been incorporated, removing the public/private ambiguity while providing residents an additional means to access the greenway.



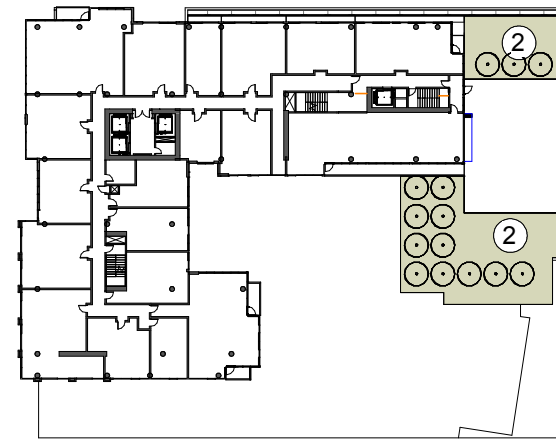
■ RESIDENTIAL BONUS EXCLUDED AREA = 17,696 SF  
 ■ LOCKER ROOM = 380 SF

**LEVEL 01**



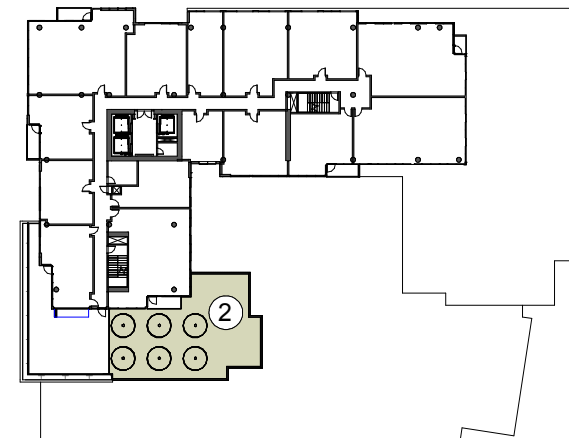
■ Eco Roof = 6,554 SF

**LEVEL 02**



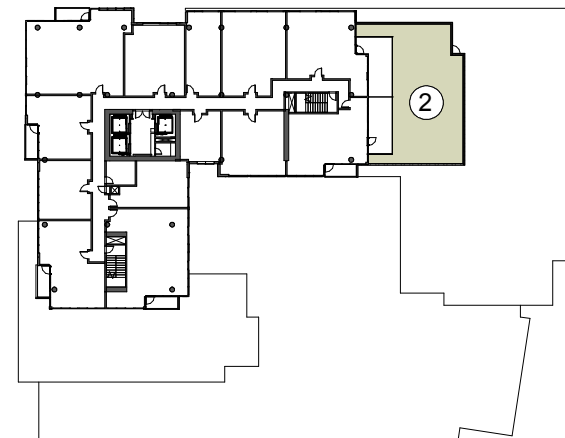
■ Eco Roof = 3,917 SF

**LEVEL 06**



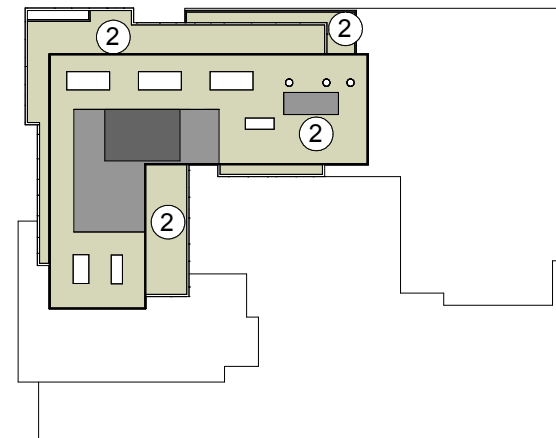
■ Eco Roof = 2,106 SF

**LEVEL 08**



■ Eco Roof = 1,760 SF

**LEVEL 10**



■ Eco Roof (9,000 SF)

**ROOF**

BASE FAR = **144,160 SF**  
 RESIDENTIAL BONUS = 144,160 SF - 17,696 SF = **126,464 SF**  
 LOCKER ROOM BONUS = 380 SF X 40 = **15,200 SF**  
 ECO-ROOF BONUS = 23,337 SF x 3 = **70,011 SF**  
 (23,337 SF Eco-roof / 35,105 SF overall roof = 66.5%)  
 (1 square foot : 3 additional square foot)

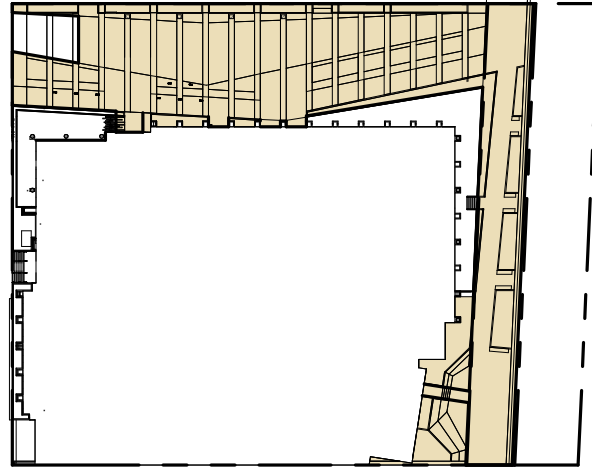
**TOTAL AVAILABLE FAR = 355,835 SF**

**TOTAL BUILDING GROSS AREA = 307,377 SF**

**BUILDING GROSS AREA UNDER 100' HEIGHT = 207,377 SF**

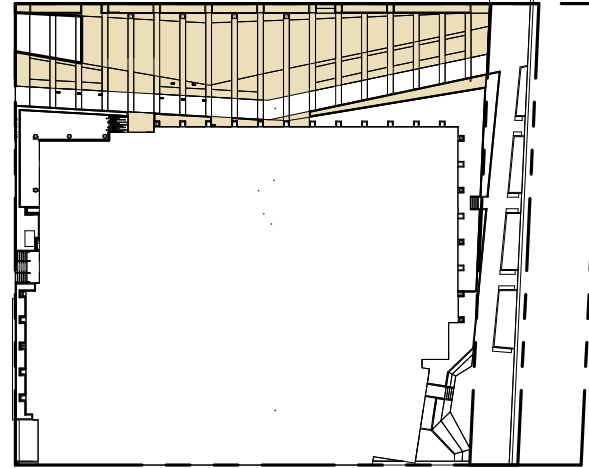
**SEE ECO-ROOF DETAILS ON C.60**

- 1. EXTENSIVE ECO-ROOF ASSEMBLY
- 2. INTENSIVE ECO-ROOF ASSEMBLY



**OPEN AREA**

**REQUIRED** = (72,080 SF - 40,000 SF) X 0.3 = **9,624 SF**  
**PROVIDED** = **20,879 SF**



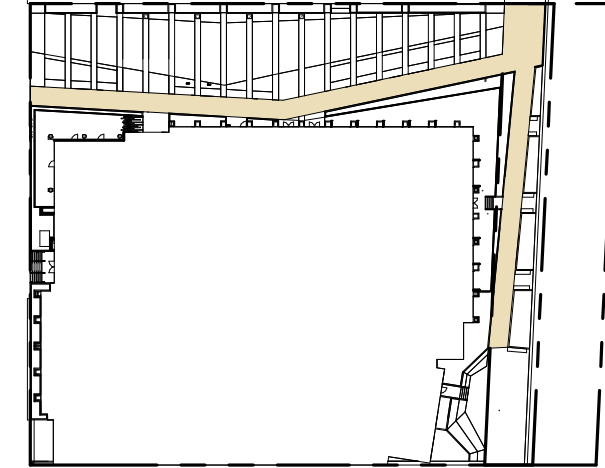
**PARK / PLAZA**

20,879 SF = OPEN AREA PROVIDED

**REQUIRED** = 20,879 SF X 0.5 = **10,440 SF**  
**PROVIDED** = **10,726 SF**

**SINGLE PLAZA / SPACE**

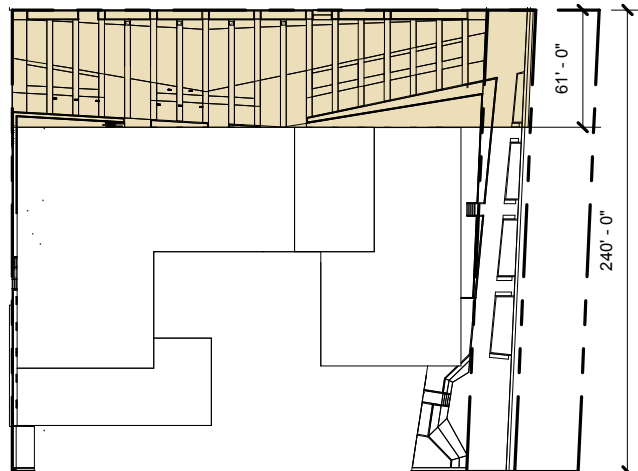
**REQUIRED** = 20,879 SF X 0.25 = **5,220 SF**  
**PROVIDED** = **10,726 SF**



**WALKWAYS**

20,879 SF OPEN AREA PROVIDED

**MAX. ALLOWED** = 20,879 SF X 0.25 = **5,220 SF**  
**PROVIDED** = **4,666 SF**



**VIEW CORRIDOR**

**REQUIRED** = SITE WIDTH X 25% = 240 FT X 0.25 = **60 FT**

**PROVIDED** = **61 FT**



**SHADOW AT 12PM ON APRIL 21**

**MAX. SHADOW ALLOWED** = PLAZA AREA X 50% = 10,726 SF X 0.5 = **5,363 SF**

**IN SHADOW** = **9,058 SF**  
**IN SUN** = **1,668 SF**

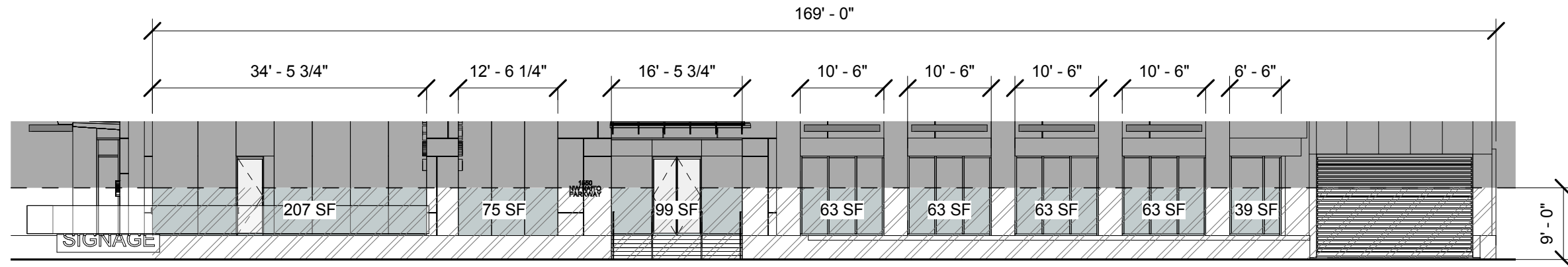
\*SEE MODIFICATION #2



**SHADOW AT 3PM ON APRIL 21**

**MAX. SHADOW ALLOWED** = PLAZA AREA X 75% = 10,726 SF X 0.75 = **8,266 SF**

**IN SHADOW** = **1,614 SF**  
**IN SUN** = **9,112 SF**



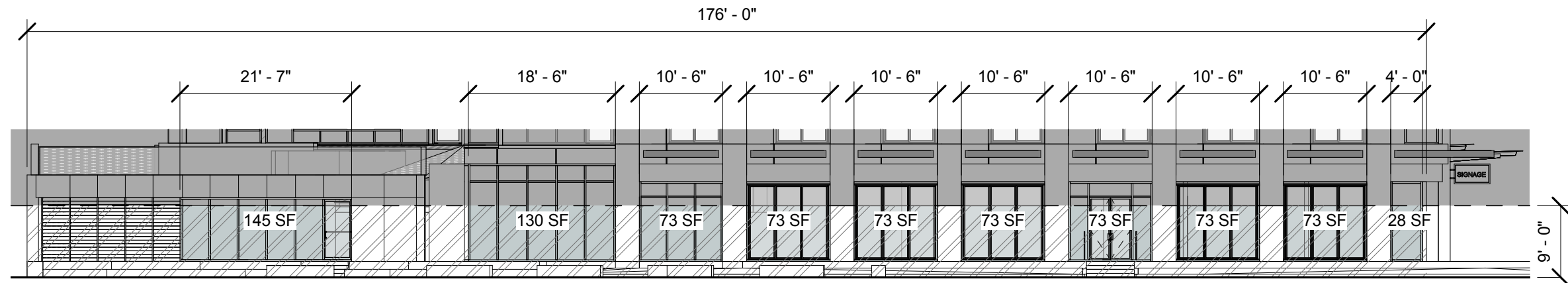
**WEST ELEVATION**

GLAZING AREA = 672 SF  
 OVERALL WALL AREA = 1,521 SF

**GLAZING AREA % = 44.2% (25% REQUIRED)**

GLAZING LENGTH = 112'-0"  
 OVERALL WALL LENGTH = 169'-0"

**GLAZING LENGTH % = 66.3% (50% REQUIRED)**



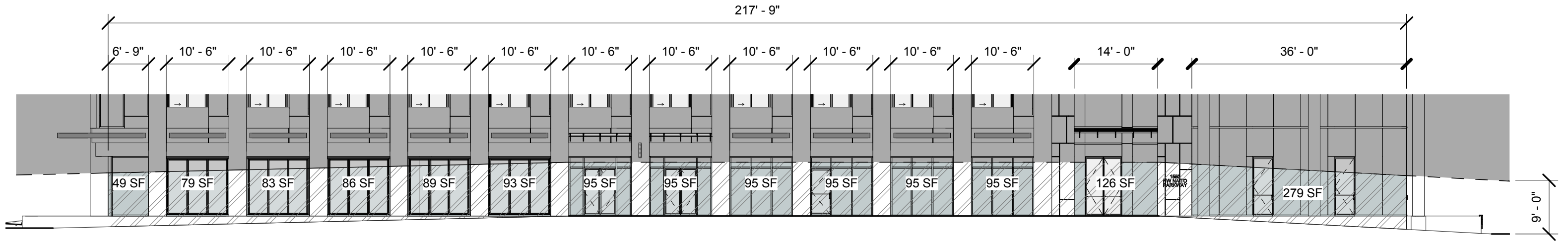
**EAST ELEVATION**

GLAZING AREA = 814 SF  
 OVERALL WALL AREA = 1,584 SF

**GLAZING AREA % = 51.4% (25% REQUIRED)**

GLAZING LENGTH = 117.5"  
 OVERALL WALL LENGTH = 176'

**GLAZING LENGTH % = 66.8% (50% REQUIRED)**



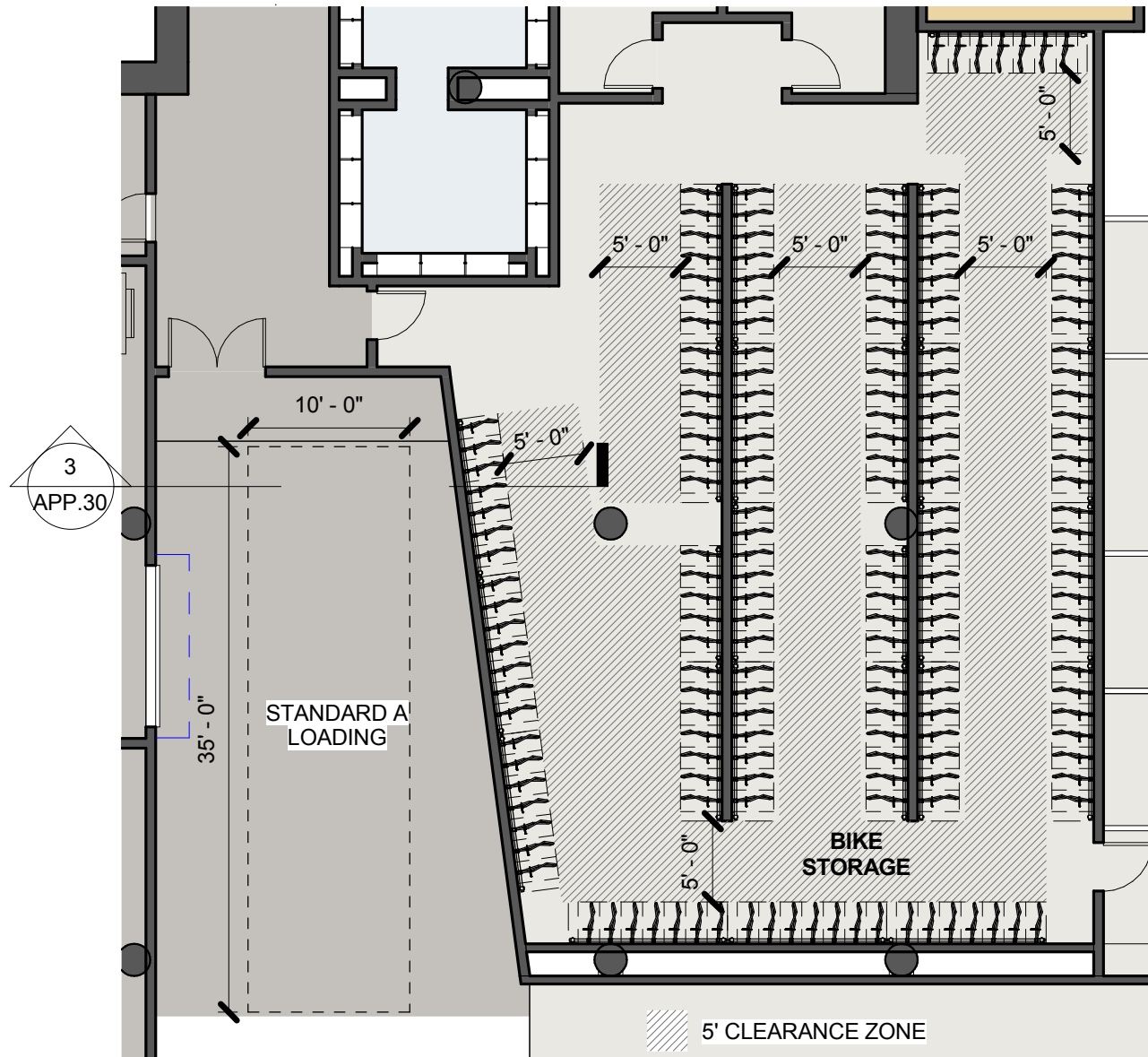
**NORTH ELEVATION**

GLAZING AREA = 1,454 SF  
 OVERALL WALL AREA = 1,960 SF

**GLAZING AREA % = 74.2% (25% REQUIRED)**

GLAZING LENGTH = 172'-3"  
 OVERALL WALL LENGTH = 217'-9"

**GLAZING LENGTH % = 79% (50% REQUIRED)**



**LONG-TERM BICYCLE PARKING**

MULTI-DWELLING = 1.5 SPACE PER 1 UNIT = 275 UNITS X 1.5 = 413 SPACES

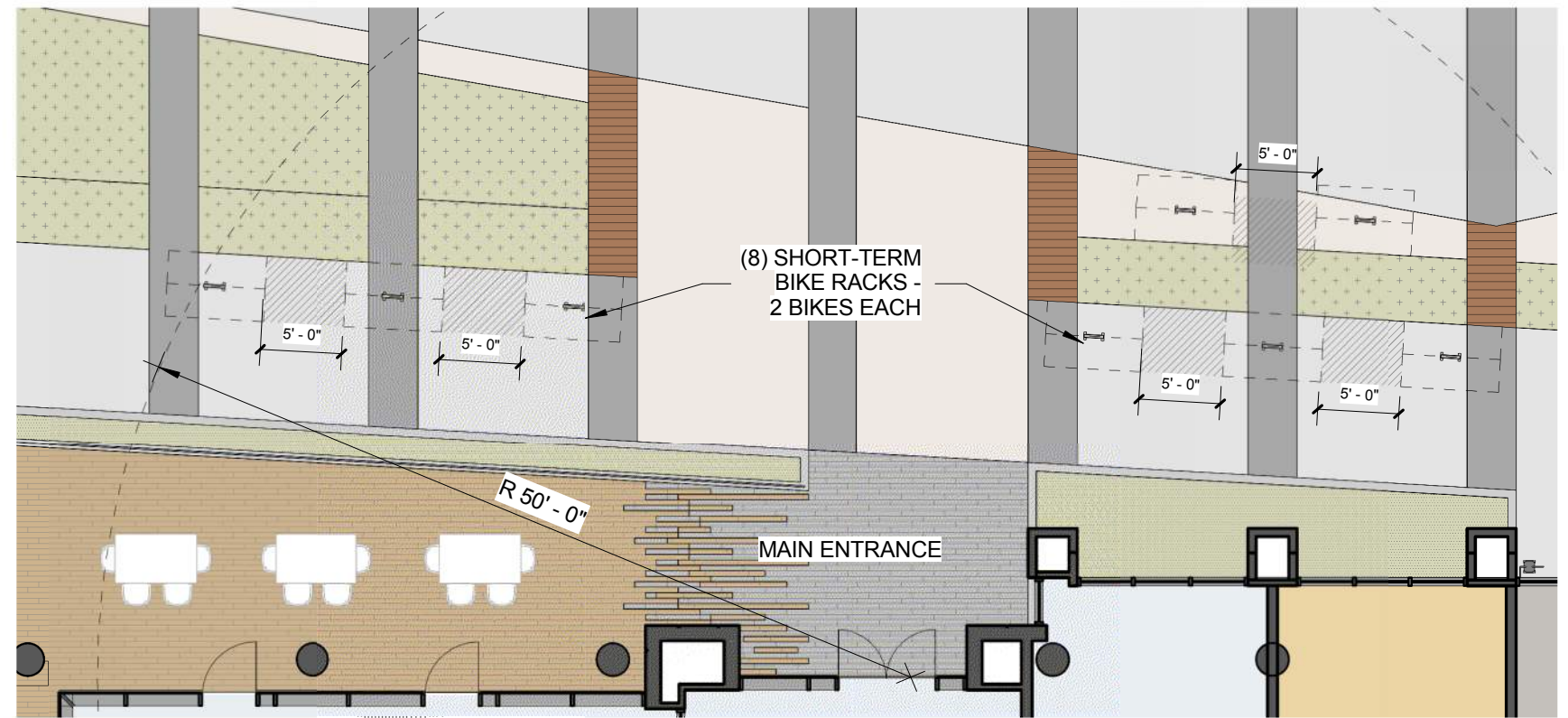
RETAIL SALES AND SERVICE = 1 SPACE PER 12,000 SF = 2 SPACES

**TOTAL REQUIRED = 415 SPACES**

**TOTAL PROVIDED = 275 IN UNITS + 206 IN BIKE STORAGE = 481 SPACES @ 1'-4" X 2'-7" SIZE**

**\*1'-4" X 2'-7" SPACE SIZE THRU MODIFICATION**

**\*\*AT LEAST 110% OF THE REQUIRED LONG-TERM BICYCLE PARKING IS PROVIDED TO QUALIFY FOR LOCKER ROOM BONUS FAR (481 PROVIDED / 415 REQUIRED = 116%)**



**SHORT-TERM BICYCLE PARKING**

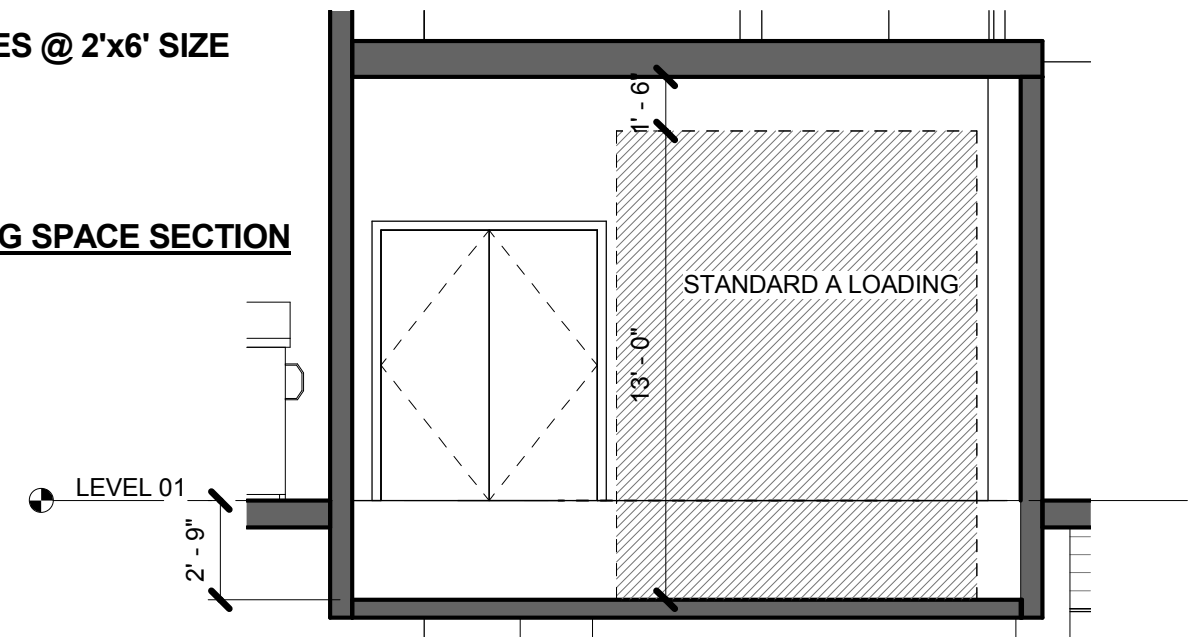
MULTI-DWELLING = 1 SPACE PER 20 UNITS = 275 UNITS / 20 = 14 SPACES

RETAIL SALES AND SERVICE = 1 SPACE PER 5,000 SF = 6,266 / 5,000 = 2 SPACES

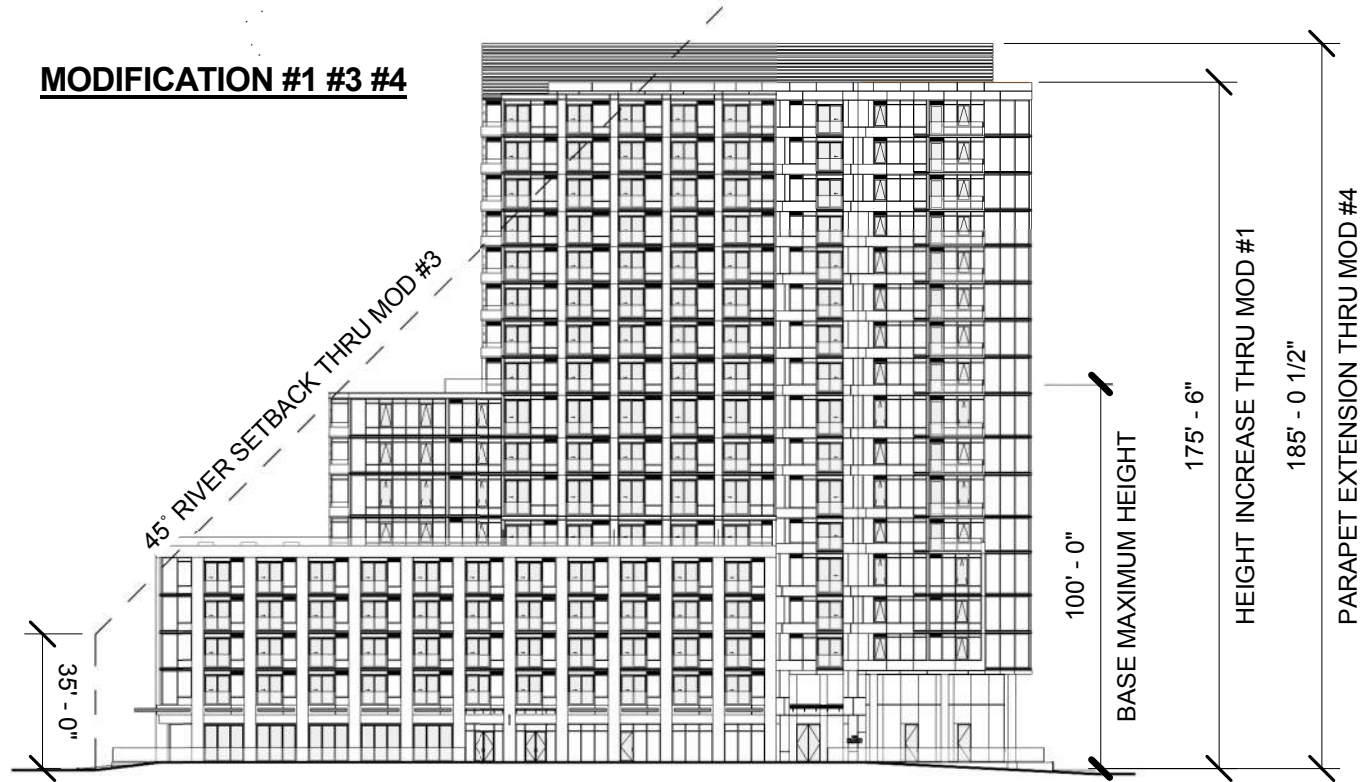
**TOTAL REQUIRED = 16 SPACES**

**TOTAL PROVIDED = 16 SPACES @ 2'x6' SIZE**

**LOADING SPACE SECTION**

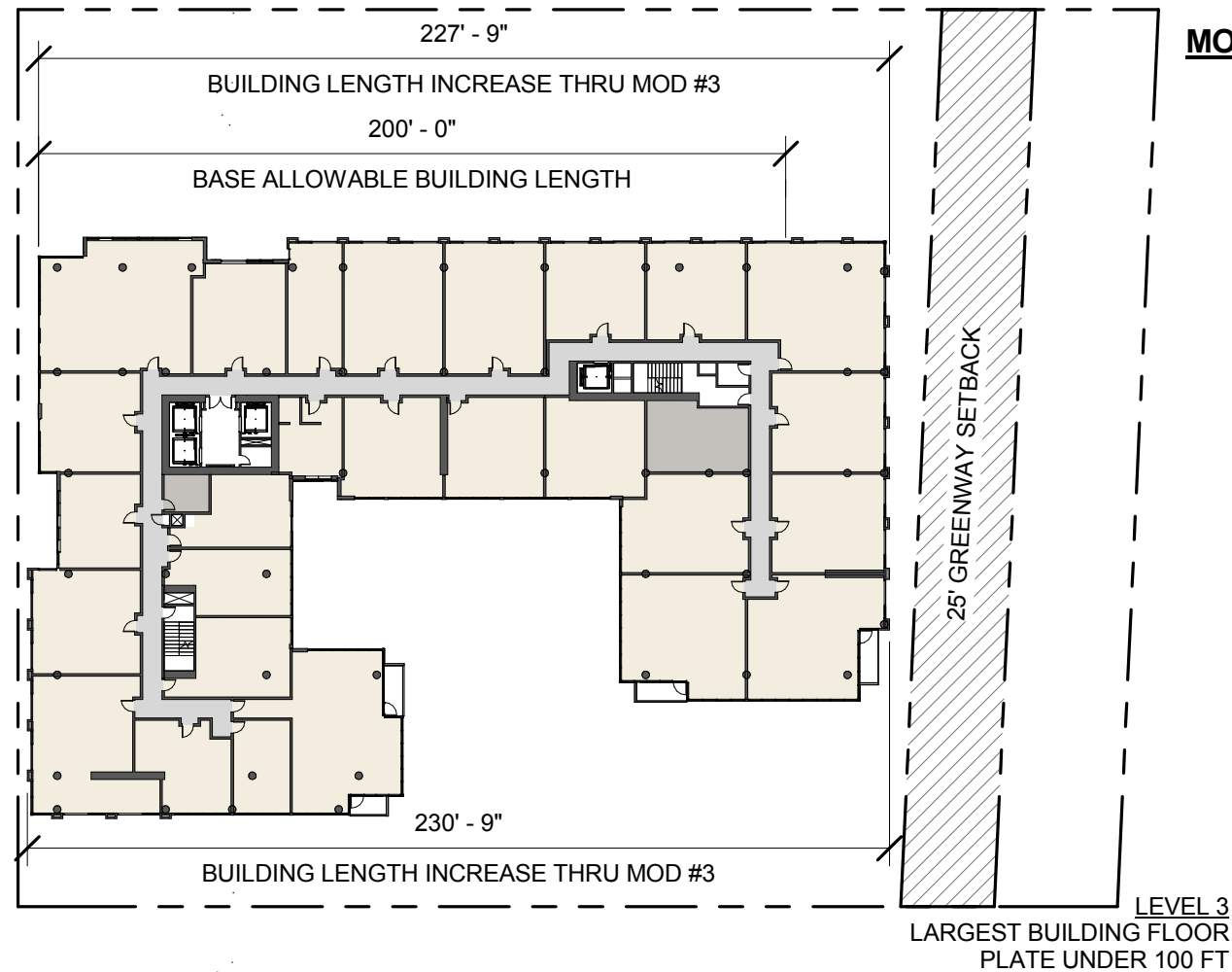


**MODIFICATION #1 #3 #4**

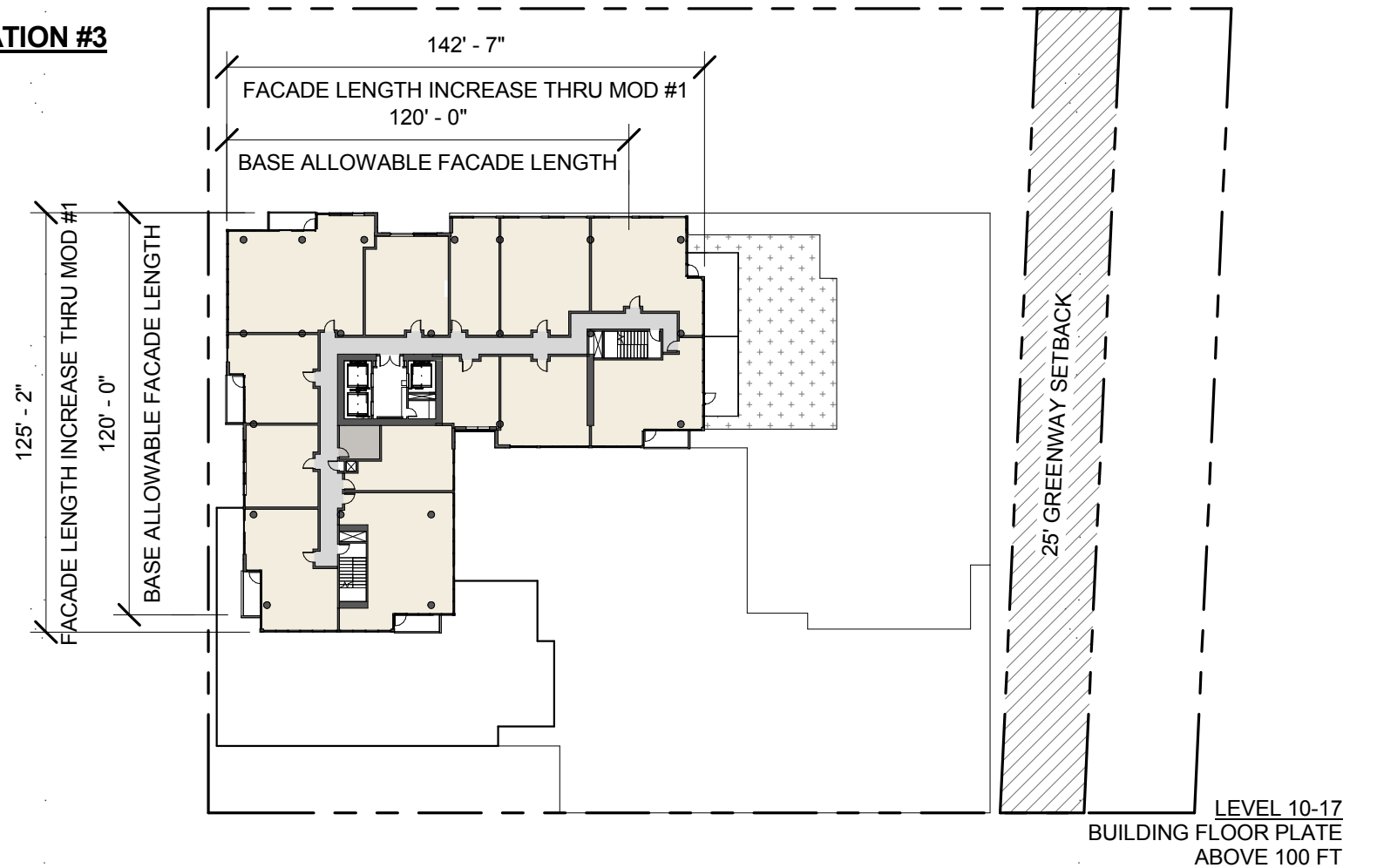


**MODIFICATIONS**

- |    |                      |                                                                                      |
|----|----------------------|--------------------------------------------------------------------------------------|
| 1. | 33.510.205.H.2       | North Pearl Subarea Height Opportunity Area                                          |
| 2. | 33.510.251.C.3       | North Pearl Subarea Open Area Development Standards - Shadow Standard                |
| 3. | 33.510.251.D.3.b & c | North Pearl Subarea Waterfront Development - Setbacks and Maximum Building Dimension |
| 4. | 33.140.210.B.2       | Height - Rooftop Mechanical Equipment Coverage and Screening                         |
| 5. | 33.140.240.B.4       | Pedestrian Standards in EX zone - L1 Level Landscape                                 |
| 6. | 33.266.220.C.3.b     | Long-term bicycle rack width                                                         |



**MODIFICATION #3**



**MODIFICATION #1**

**MODIFICATION #2**



**SHADOW AT 12PM ON APRIL 21**

**MAX. SHADOW ALLOWED = PLAZA AREA X 50% = 10,726 SF X 0.5 = 5,363 SF**

**IN SHADOW = 9,058 SF**  
**IN SUN = 1,668 SF**

The shadow at 12pm does not meet requirement based on calculation using open area and park / plaza PROVIDED, rather than REQUIRED.

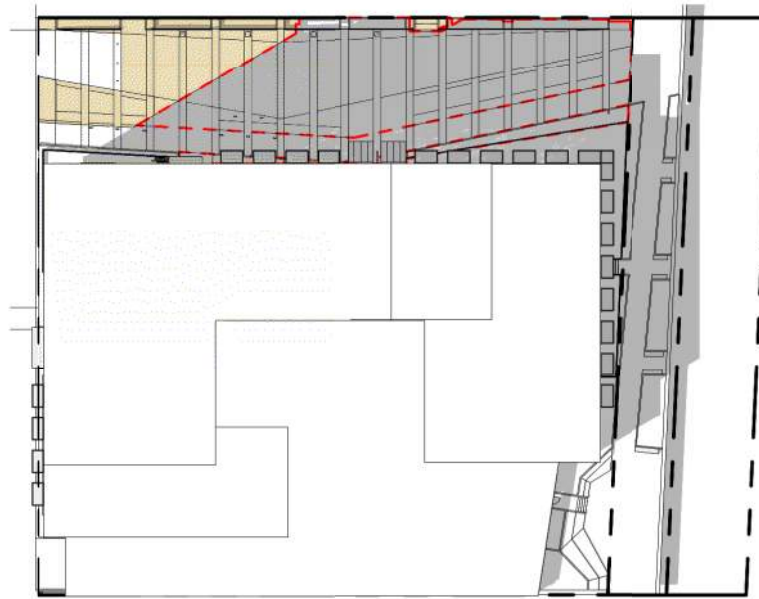
Calculation based on REQUIRED open area and park / plaza is as followed:

**REQUIRED OPEN AREA =**  
**(72,080 SF - 40,000 SF) X 0.3 = 9,624 SF**

**REQUIRED PARK / PLAZA =**  
**9,624 SF X 0.5 = 4,812 SF**

**MIN. AREA IN SUN =**  
**4,812 SF X 0.5 = 2,406 SF**

As the current shadow study shows 1,668 sf of plaza area is in sun at 12pm, it is much closer to complying the code required sunlit area of 2,406 sf.



**SHADOW AT 12:30PM ON APRIL 21**

**MAX. SHADOW ALLOWED = PLAZA AREA X 50% = 10,726 SF X 0.5 = 5,363 SF**

**IN SHADOW = 7,835 SF**  
**IN SUN = 2,891 SF**

This is an alternative shadow study of the plaza at 12:30pm, just 30 minutes from the shadow measurement benchmark hour at 12pm. At 12:30pm, the sun has significantly increased within the plaza space from 15.4% at 12pm to 27% at 12:30pm.



**SHADOW AT 1PM ON APRIL 21**

**MAX. SHADOW ALLOWED = PLAZA AREA X 50% = 10,726 SF X 0.5 = 5,363 SF**

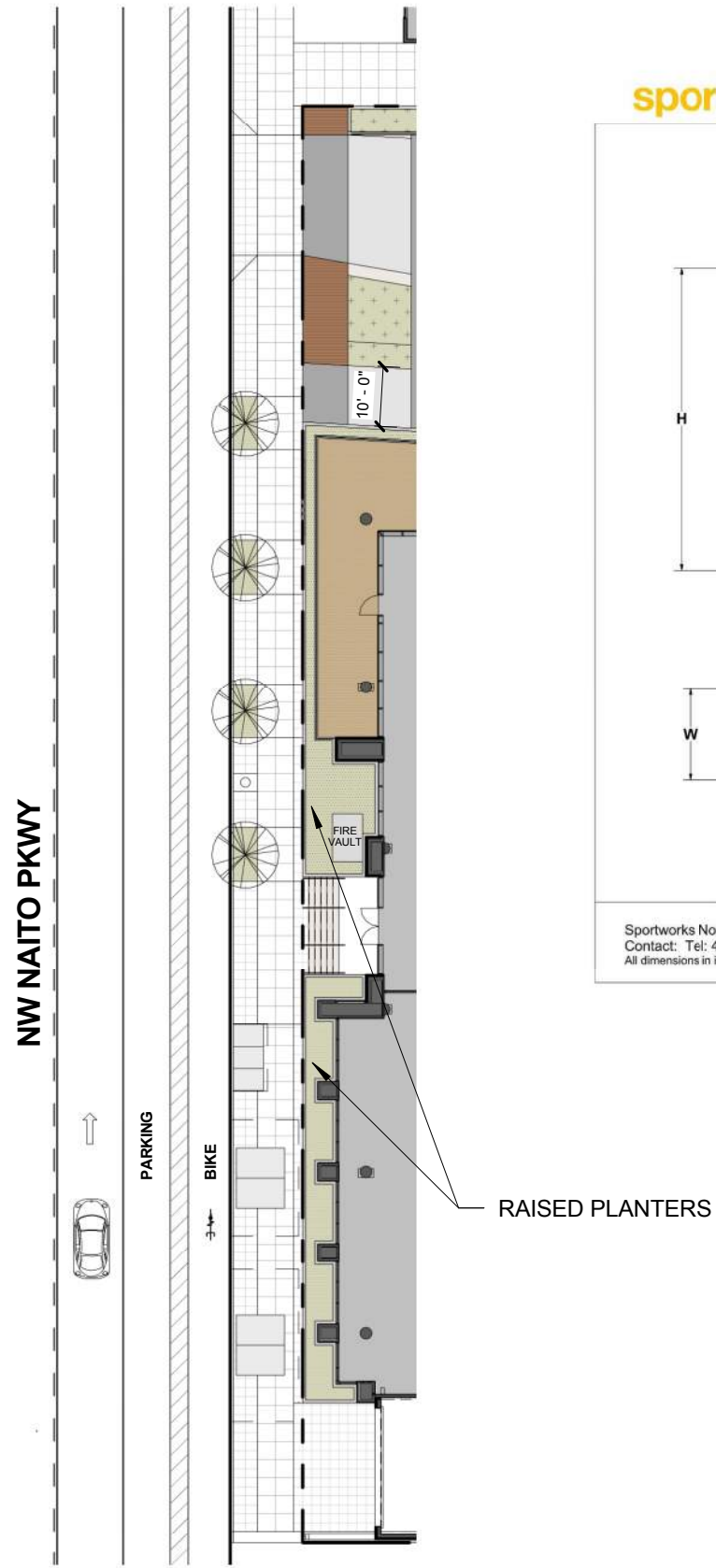
**IN SHADOW = 3,630 SF**  
**IN SUN = 7,096 SF**

This is an alternative shadow study of the plaza at 1pm, just 1 hour from the shadow measurement benchmark hour at 12pm. At 1pm, the sun has significantly increased within the plaza space from 15.4% at 12pm to 66% at 1pm.



**MODIFICATION #5**

**MODIFICATION #6**



**sportworks** Vertical+ Wall Mount bike racks Technical Drawing

Vertical+ Wall Mount Rack Dimensions				
Rack Type	BIKE SPACING	L	W	H
Vertical+ 3 Bike	16	52.8	30.7	84.0
Vertical+ 5 Bike	16	84.8	30.7	84.0
Vertical+ 7 Bike	16	116.8	30.7	84.0
Vertical+ 4 Bike	13	56.8	30.7	84.0
Vertical+ 6 Bike	13	82.8	30.7	84.0
Vertical+ 9 Bike	13	121.8	30.7	84.0

Sportworks Northwest Inc. | 15540 Wood Red Rd NE, Bldg A-200 | Woodinville, WA 98072 | www.sportworks.com  
 Contact: Tel: 425-483-7000 | Fax: 425-488-9001 | salesandsupport@sportworks.com  
 All dimensions in inches. All dimensions and specifications nominal. Specifications are subject to change without notice. Copyright © 2011 Sportworks Northwest, Inc. All rights reserved.

**sportworks** Vertical+ No Scratch® Wall Mount Space Use and Setbacks

Dimensional format shown. Minimum (Recommended)  
 All dimensions are in inches.

15 (18) 50 (54)

13 50 (54)

15 (18)

AISLE 36 (48)

13 13

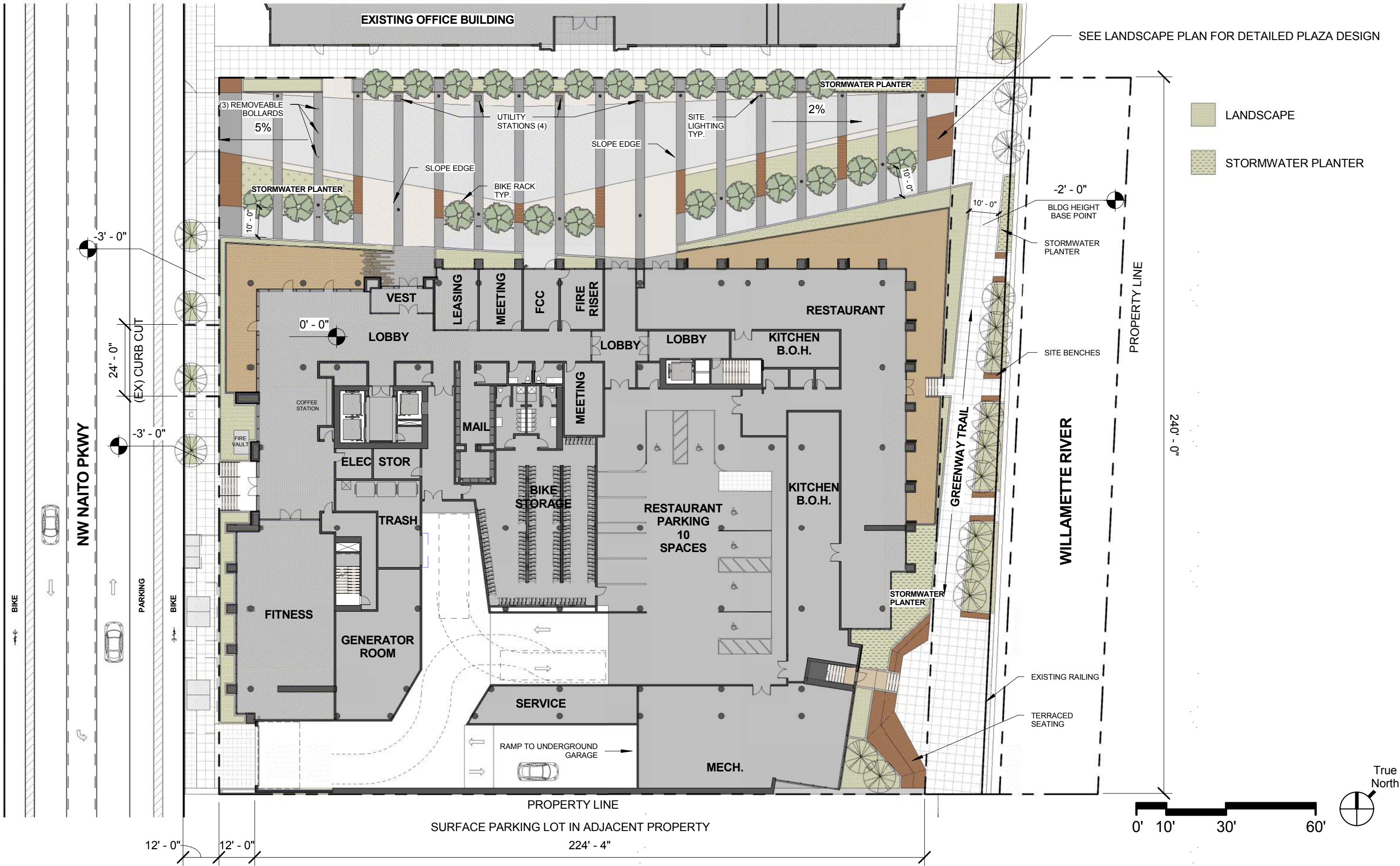
Minimum required roof height: 84"

Sportworks Northwest Inc. | 15540 Wood Red Rd NE, Bldg A-200 | Woodinville, WA 98072 | www.sportworks.com  
 Contact: Tel: 425-483-7000 | Fax: 425-488-9001 | salesandsupport@sportworks.com  
 All dimensions and specifications nominal. Specifications are subject to change without notice. Copyright © 2011 Sportworks Northwest, Inc. All rights reserved.

# PROJECT SUMMARY

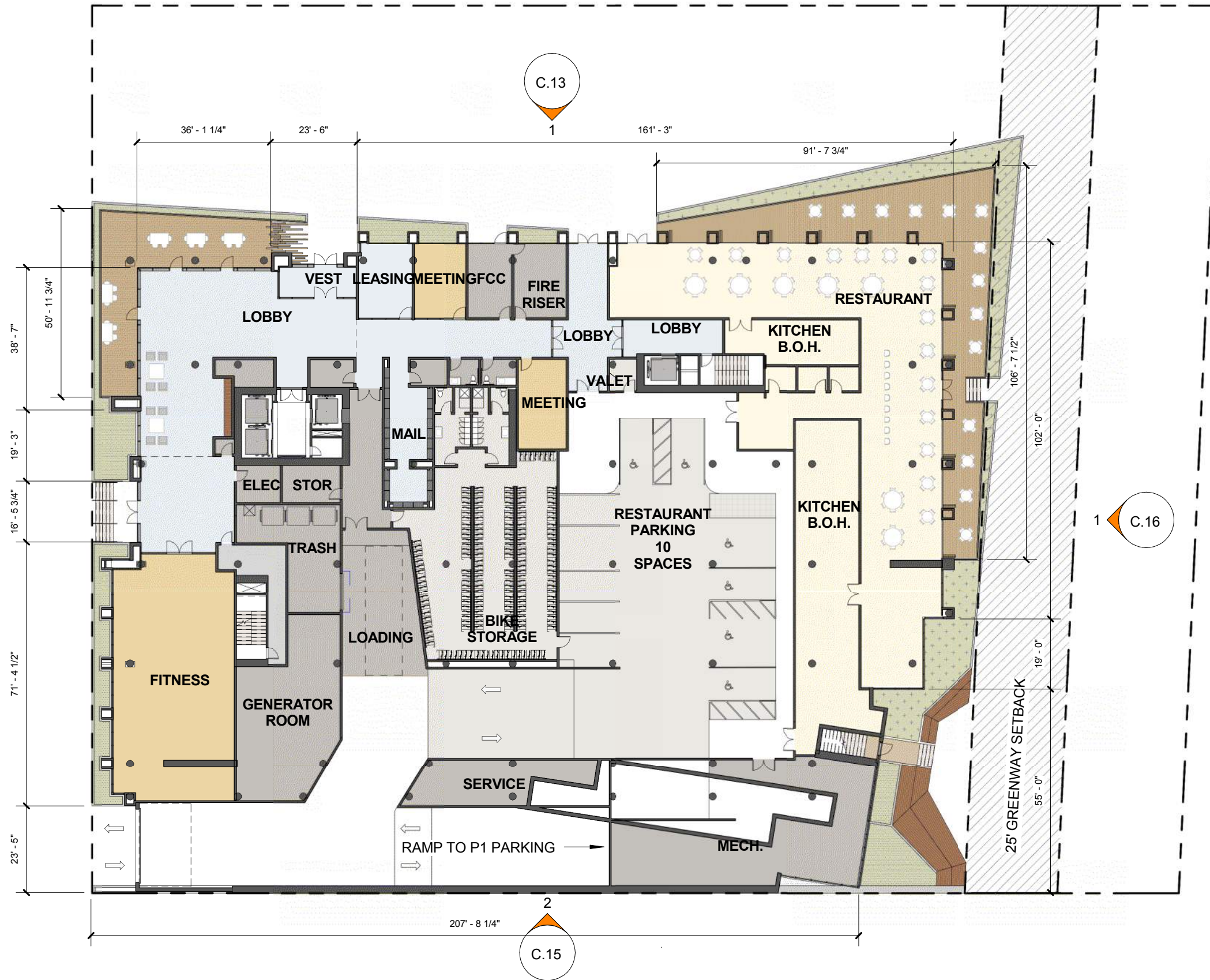
SITE AREA	72,080 sf
BASE FAR	2:1 72,080 sf x 2 = 144,160 sf
RESIDENTIAL BONUS	126,464 sf
ECO ROOF BONUS	46,674 sf
LOCKER ROOM BONUS	15,200 sf
TOTAL AVAILABLE FAR	Base FAR + Residential bonus + Eco-roof bonus + Locker Room Bonus 144,160 sf + 126,464 sf + 70,011 sf + 15,200 sf = <b>355,825 sf</b>
TOTAL FLOOR AREA ABOVE GRADE	<b>307,377 sf</b>
TOTAL FLOOR AREA UNDER 100'	<b>207,377 sf</b>
FAR DEVELOPED	4.2:1
NUMBER OF LEVELS	17
BUILDING HEIGHT	185'-6 1/2" (SEE MODIFICATION)
PARKING (BELOW GRADE)	1 level

Level 10-17	Residential	<hr/>	
	<b>Total</b>		12,500 sf per level
Level 09	Residential	<hr/>	
	<b>Total</b>		14,936 sf
Level 08	Residential Lounge Outdoor Roof Terrace	<hr/>	
	<b>Total</b>		14,941 sf
Level 07	Residential	<hr/>	
	<b>Total</b>		18,666 sf
Level 06	Residential Lounge Outdoor Roof Terrace	<hr/>	
	<b>Total</b>		18,323 sf
Level 03-05	Residential	<hr/>	
	<b>Total</b>		25,985 sf
Level 02	Residential Outdoor Roof Terrace & Pool	<hr/>	
	<b>Total</b>		25,242 sf
Level 01	Lobby Fitness Restaurant Bike Storage Restaurant Parking	<hr/>	
	<b>Total</b>		37,314 sf
Level P1	Parking	<hr/>	
	<b>Total</b>		55,634 sf

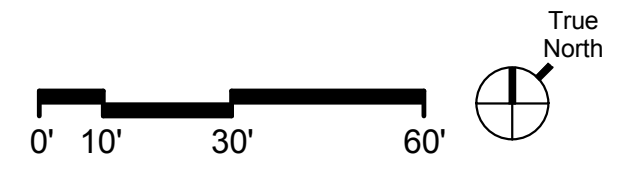


**C.02** SITE PLAN

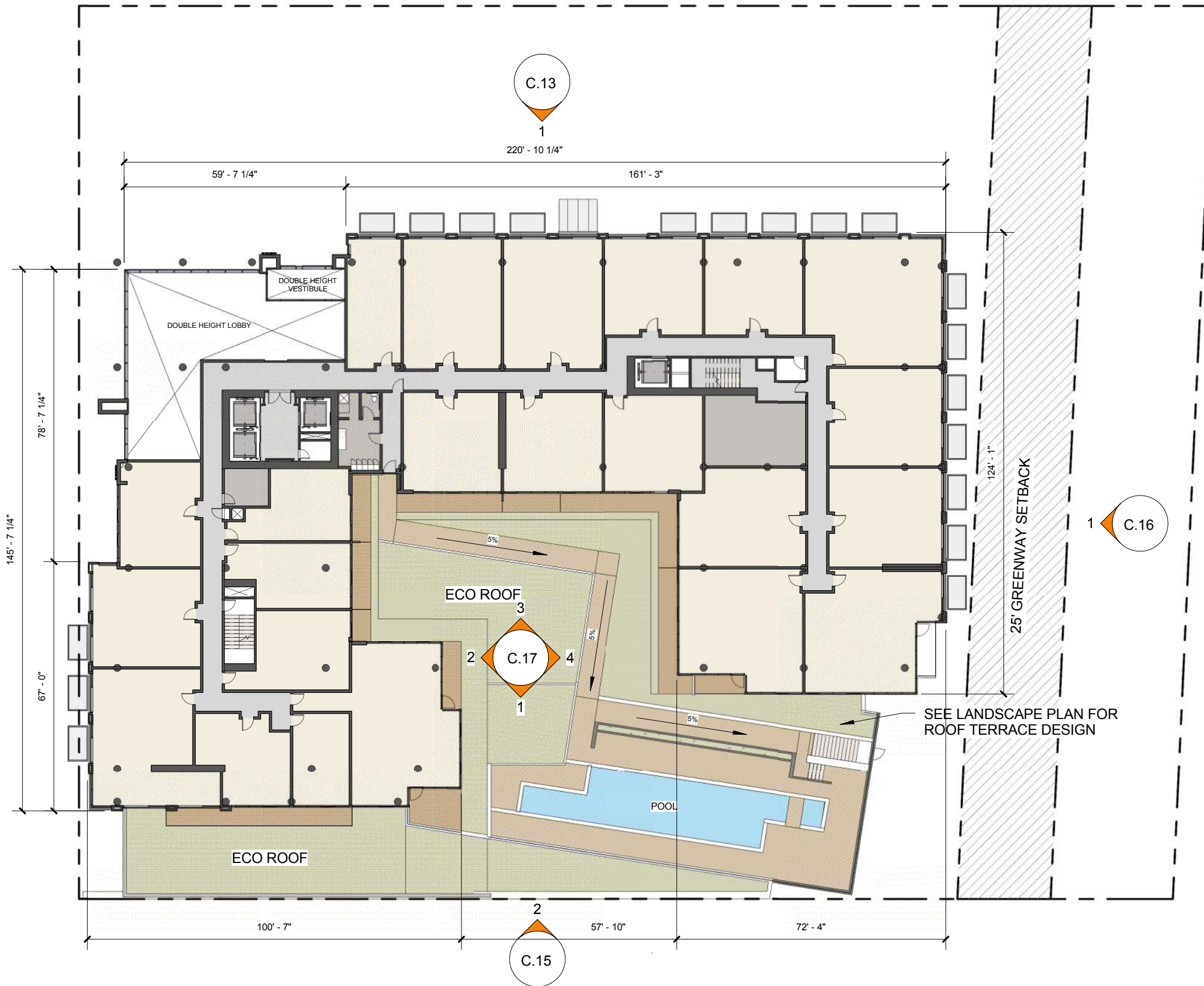




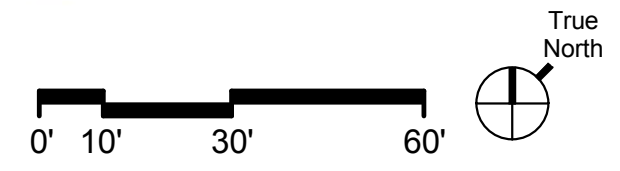
- Amenity
- Circulation
- Lobby
- Parking
- Restaurant
- Service
- Landscape



**C.04 FLOOR PLAN - LEVEL 01**

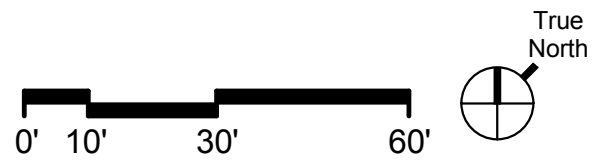


- Circulation
- Service
- Units
- Eco Roof (6,554 SF)





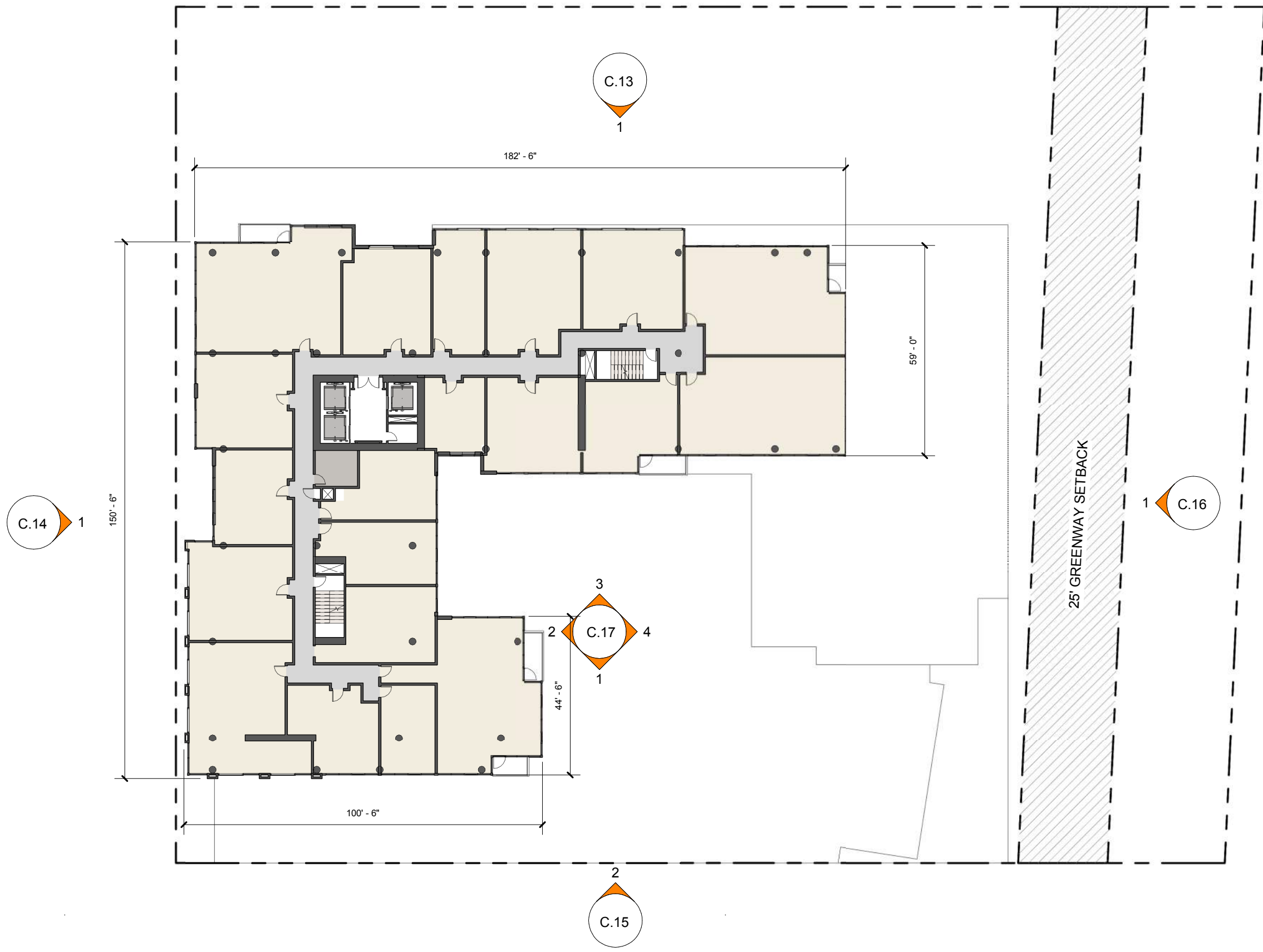
- Circulation
- Service
- Units



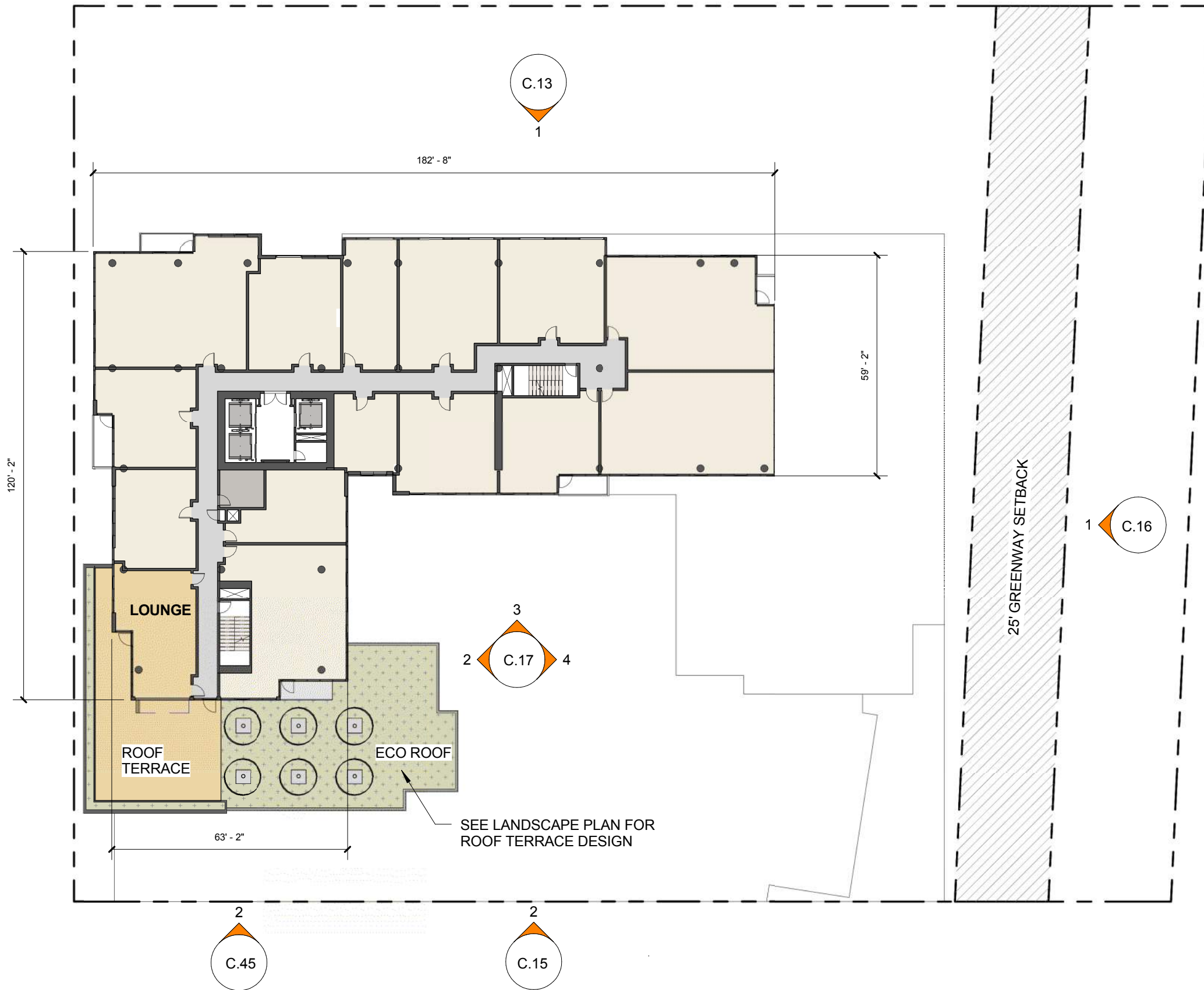
**C.06** FLOOR PLAN - LEVEL 03-05



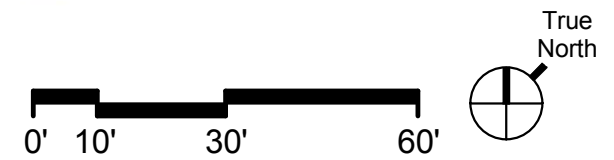


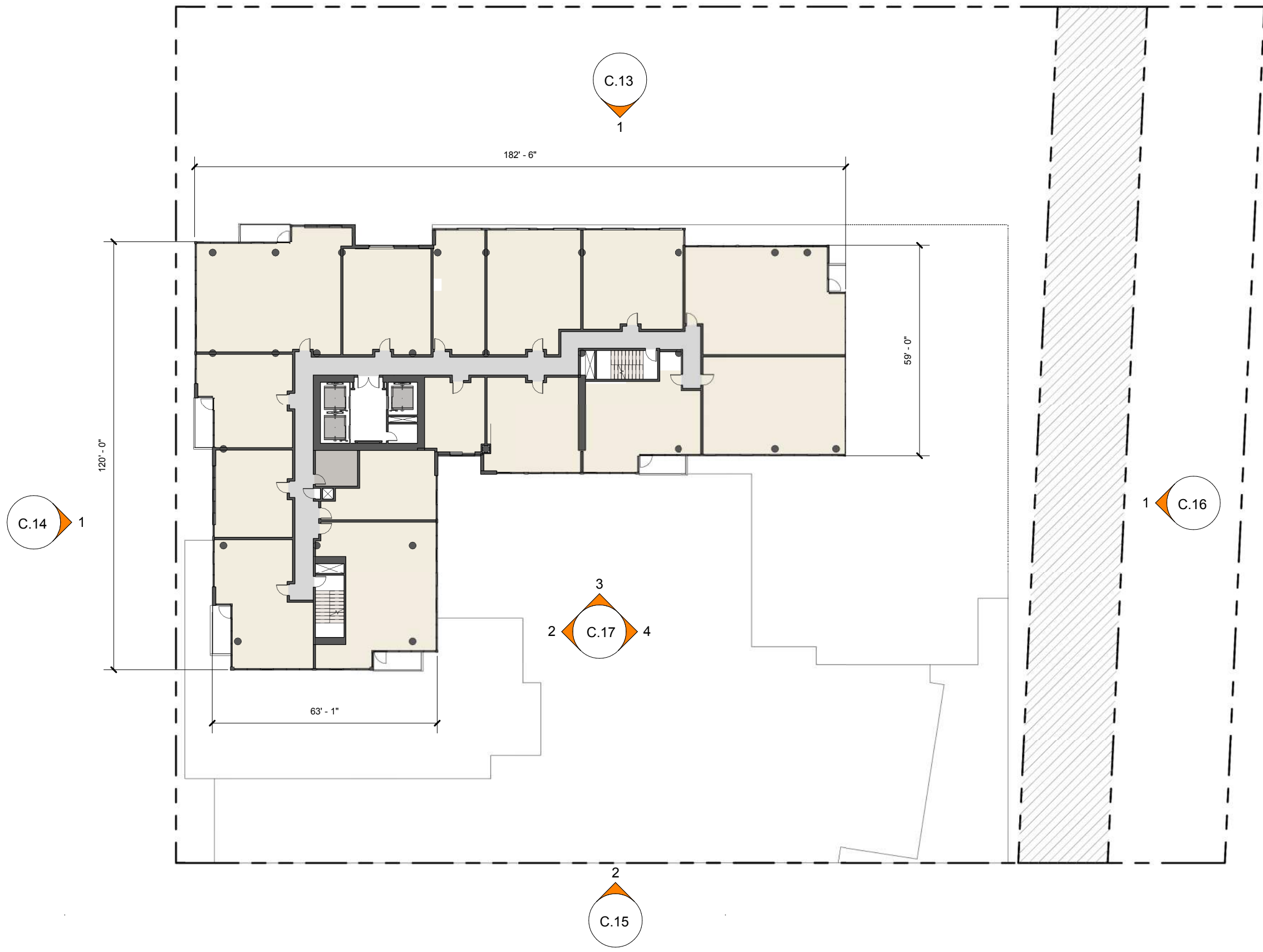


**C.08** FLOOR PLAN - LEVEL 07

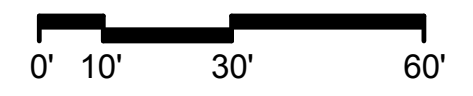


- Amenity
- Circulation
- Service
- Units
- Eco Roof (2,106 SF)

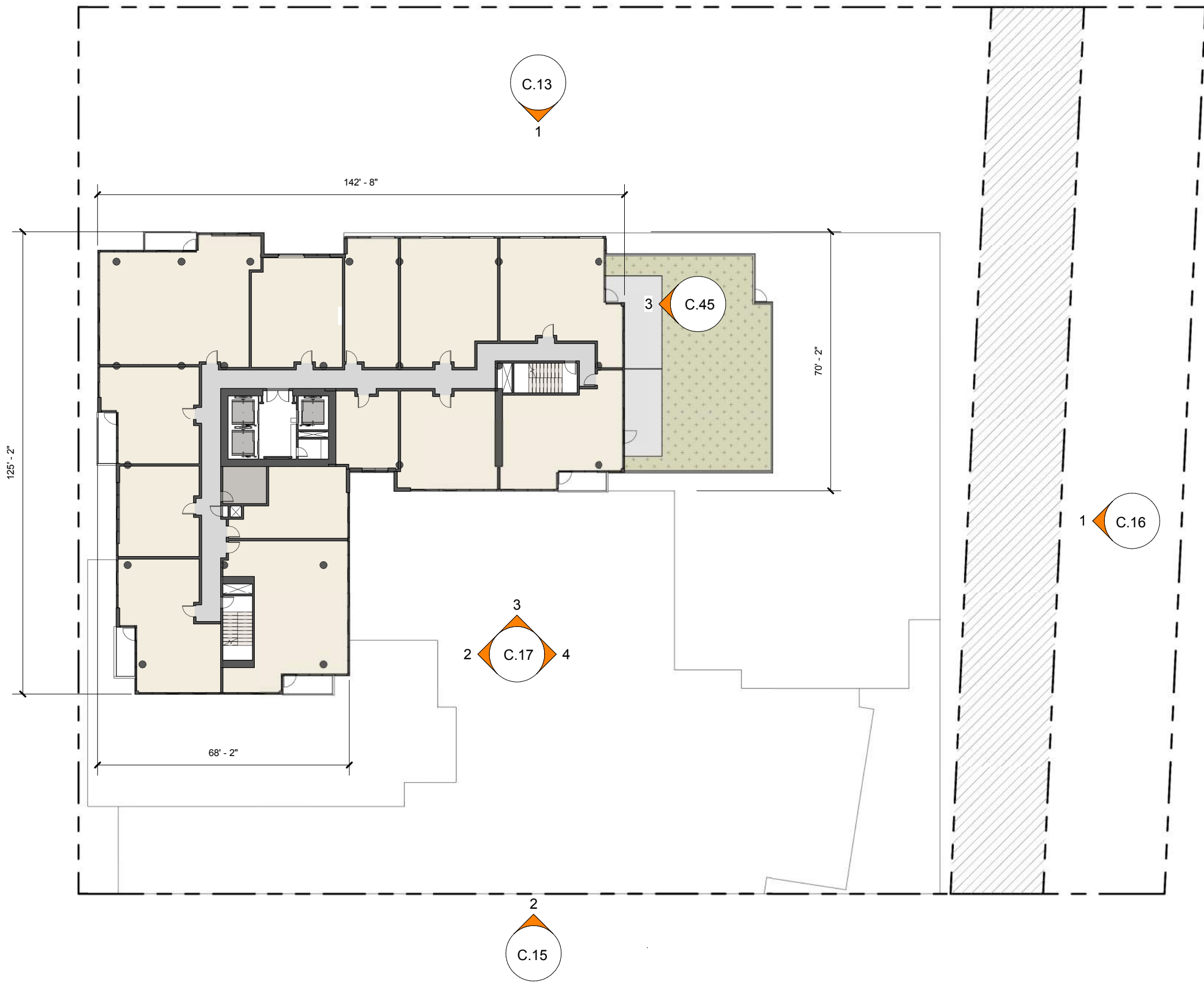




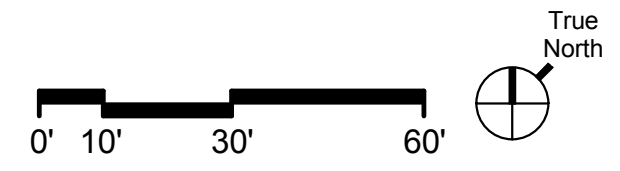
- Circulation
- Service
- Units

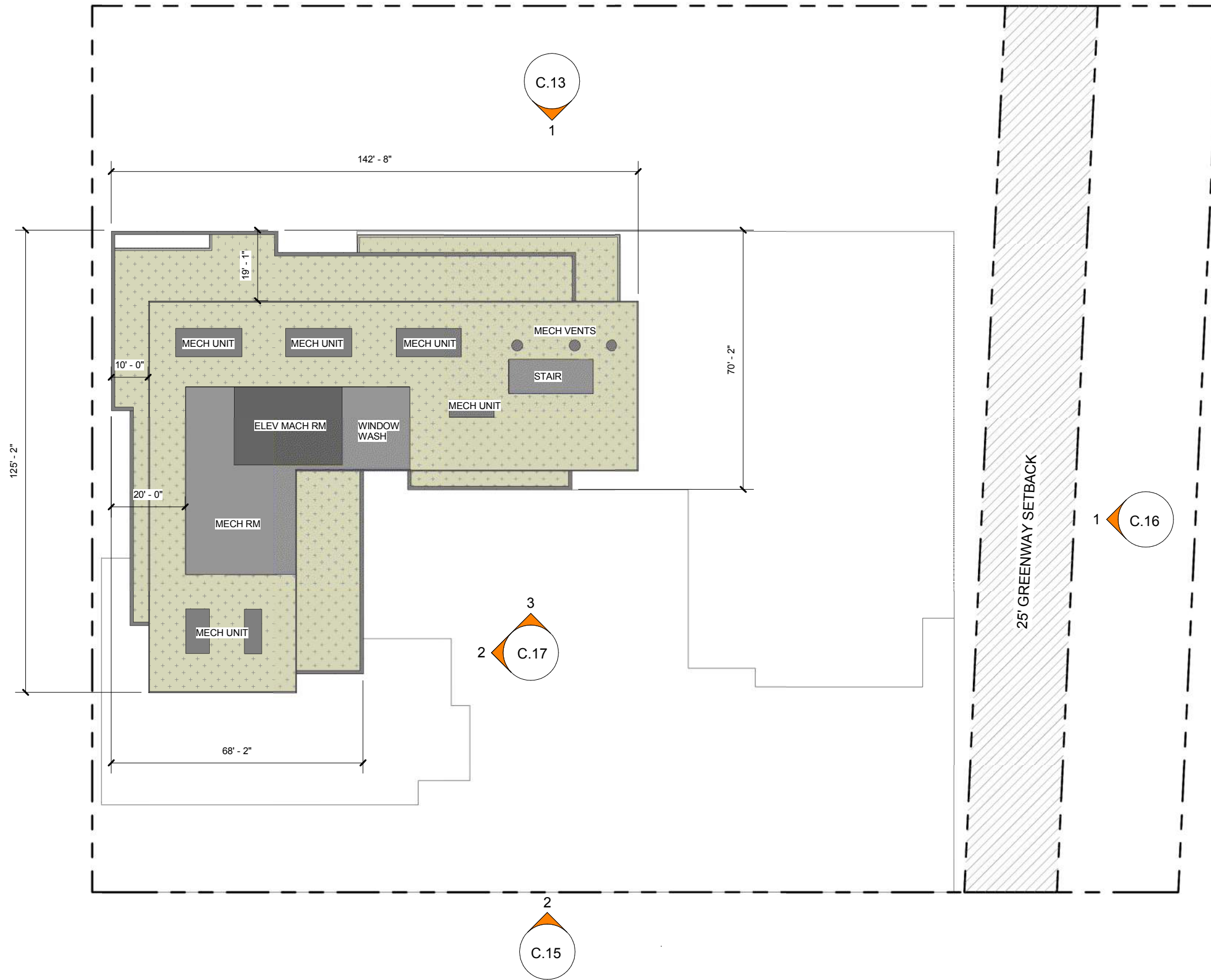


**C.10 FLOOR PLAN - LEVEL 09**

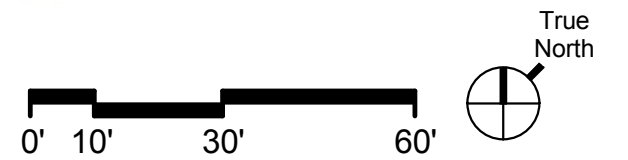


- Circulation
- Service
- Units
- 

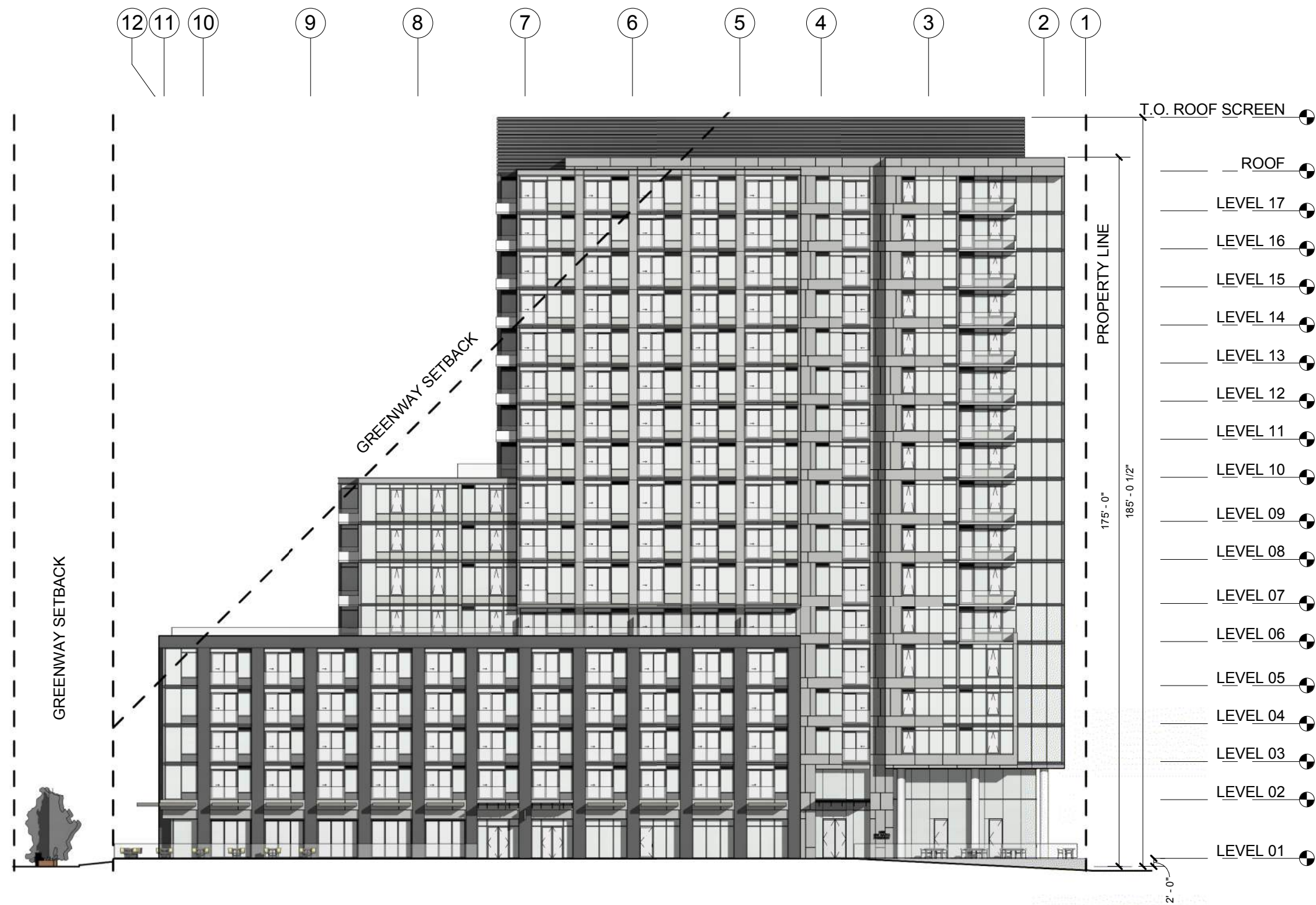




Eco Roof (9,000 SF)



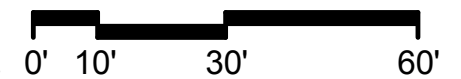
**C.12** ROOF PLAN

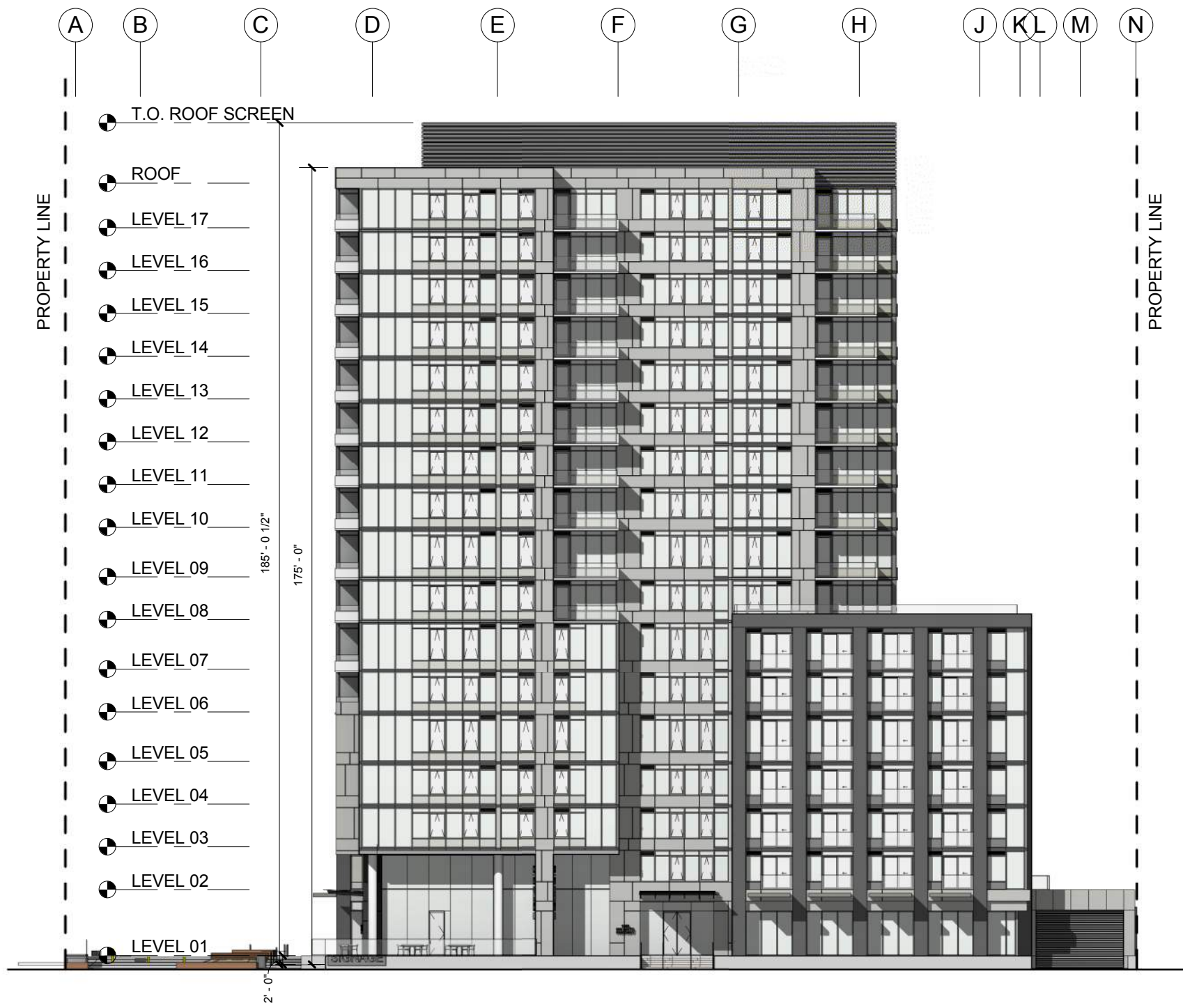


MATERIALS LEGEND - COLOR

- GLASS - CLEAR
- GLASS - SPANDREL - LIGHT
- GLASS - SPANDREL - DARK
- FLAT METAL PANEL - LIGHT
- FLAT METAL PANEL - DARK
- RIBBED METAL PANEL
- FIBER CEMENT PANEL - LIGHT
- FIBER CEMENT PANEL - DARK
- BRICK
- BOARD-FORMED CONCRETE

1 BUILDING ELEVATION - NORTH  
1" = 30'-0"

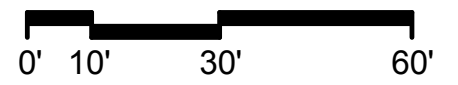


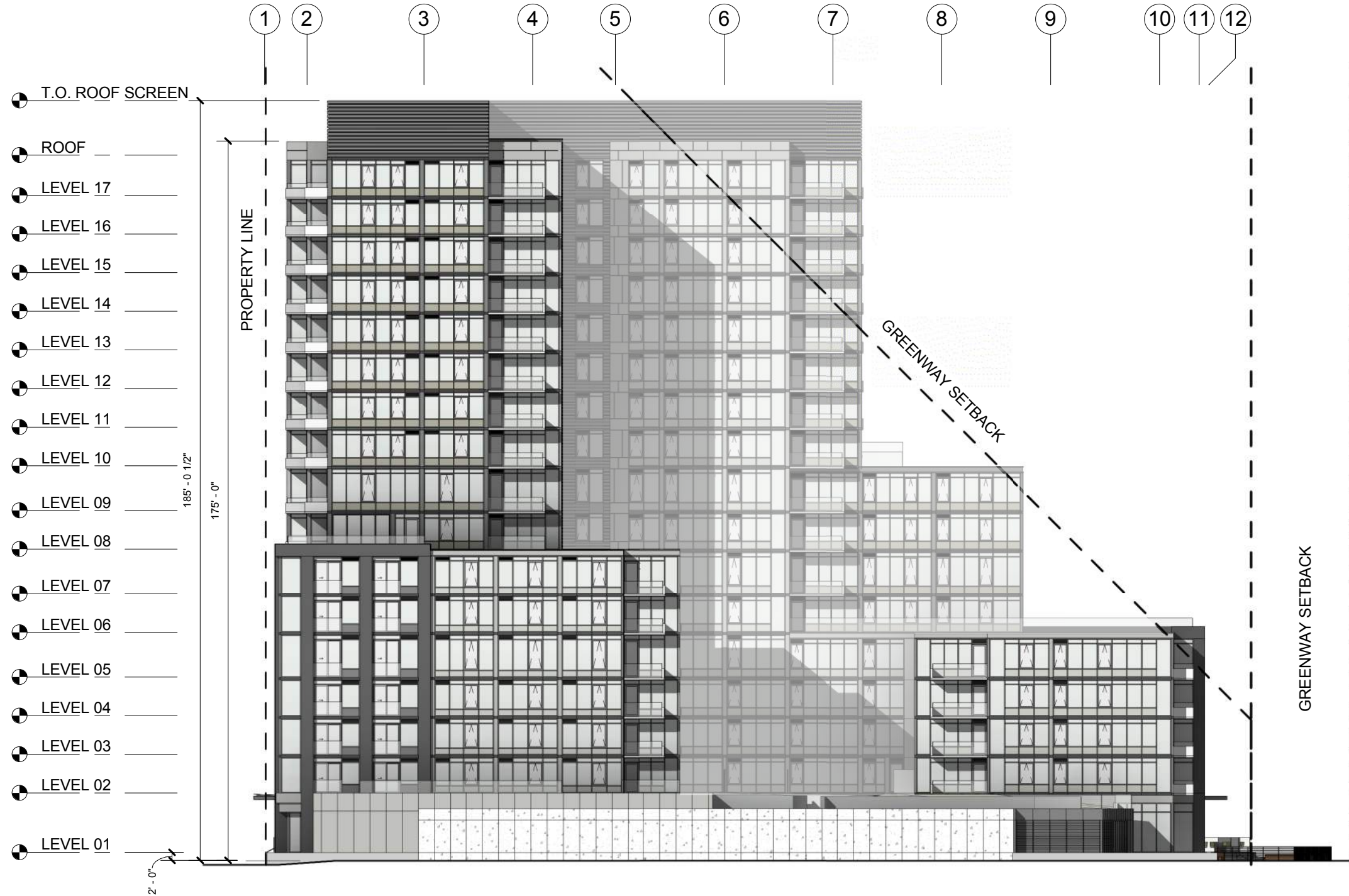


MATERIALS LEGEND - COLOR

- GLASS - CLEAR
- GLASS - SPANDREL - LIGHT
- GLASS - SPANDREL - DARK
- FLAT METAL PANEL - LIGHT
- FLAT METAL PANEL - DARK
- RIBBED METAL PANEL
- FIBER CEMENT PANEL - LIGHT
- FIBER CEMENT PANEL - DARK
- BRICK
- BOARD-FORMED CONCRETE

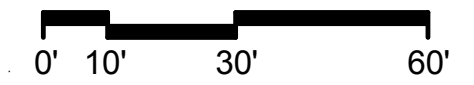
① BUILDING ELEVATION - WEST  
1" = 30'-0"



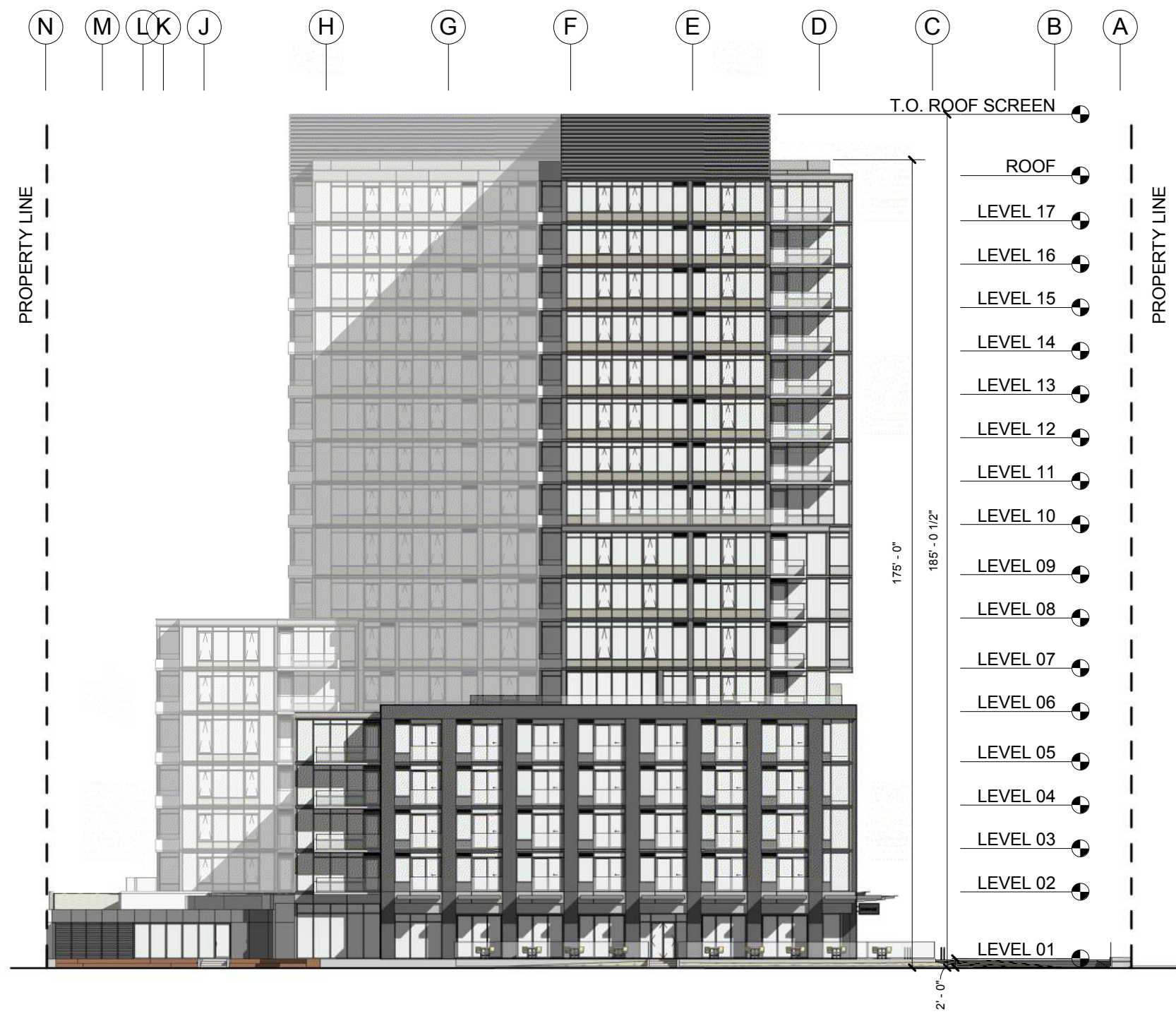


MATERIALS LEGEND - COLOR

- GLASS - CLEAR
- GLASS - SPANDREL - LIGHT
- GLASS - SPANDREL - DARK
- FLAT METAL PANEL - LIGHT
- FLAT METAL PANEL - DARK
- RIBBED METAL PANEL
- FIBER CEMENT PANEL - LIGHT
- FIBER CEMENT PANEL - DARK
- BRICK
- BOARD-FORMED CONCRETE

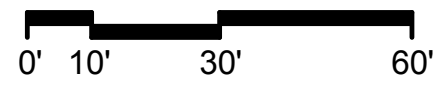






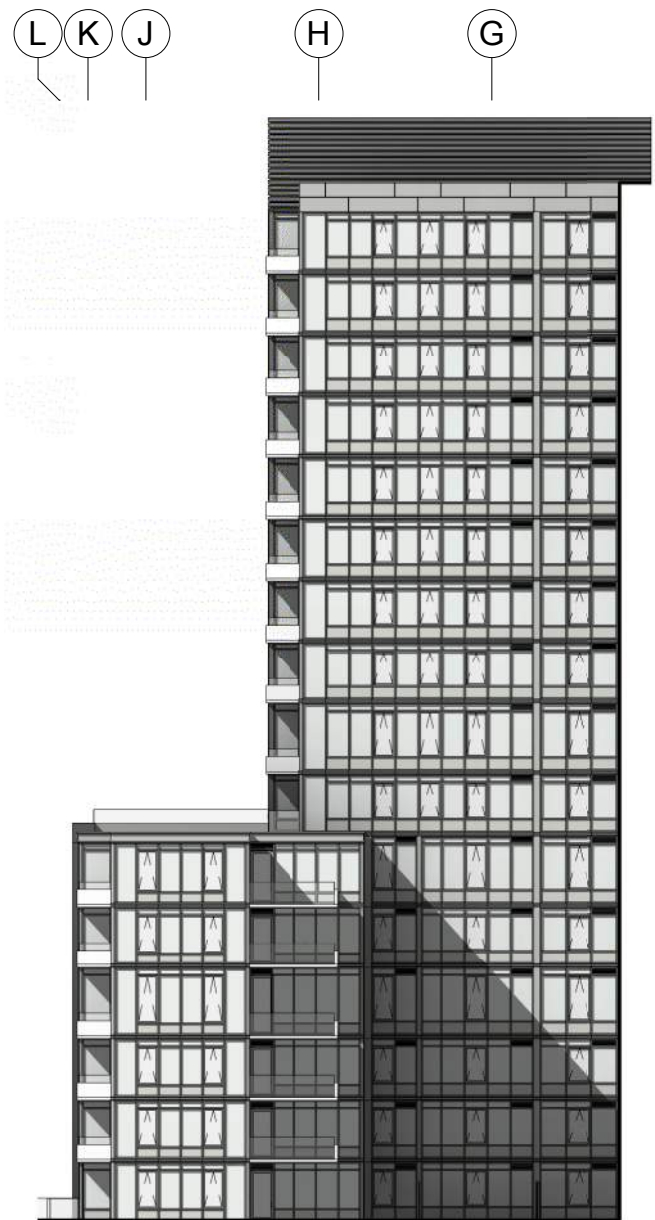
MATERIALS LEGEND - COLOR

- GLASS - CLEAR
- GLASS - SPANDREL - LIGHT
- GLASS - SPANDREL - DARK
- FLAT METAL PANEL - LIGHT
- FLAT METAL PANEL - DARK
- RIBBED METAL PANEL
- FIBER CEMENT PANEL - LIGHT
- FIBER CEMENT PANEL - DARK
- BRICK
- BOARD-FORMED CONCRETE



- T.O. ROOF SCREEN
- T.O. PARAPET
- ROOF
- LEVEL 17
- LEVEL 16
- LEVEL 15
- LEVEL 14
- LEVEL 13
- LEVEL 12
- LEVEL 11
- LEVEL 10
- LEVEL 09
- LEVEL 08
- LEVEL 07
- LEVEL 06
- LEVEL 05
- LEVEL 04
- LEVEL 03
- LEVEL 02

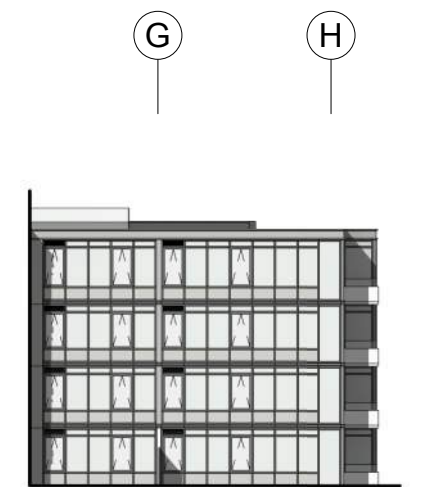
NORTH



EAST



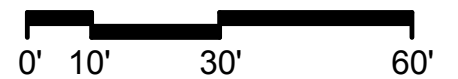
SOUTH

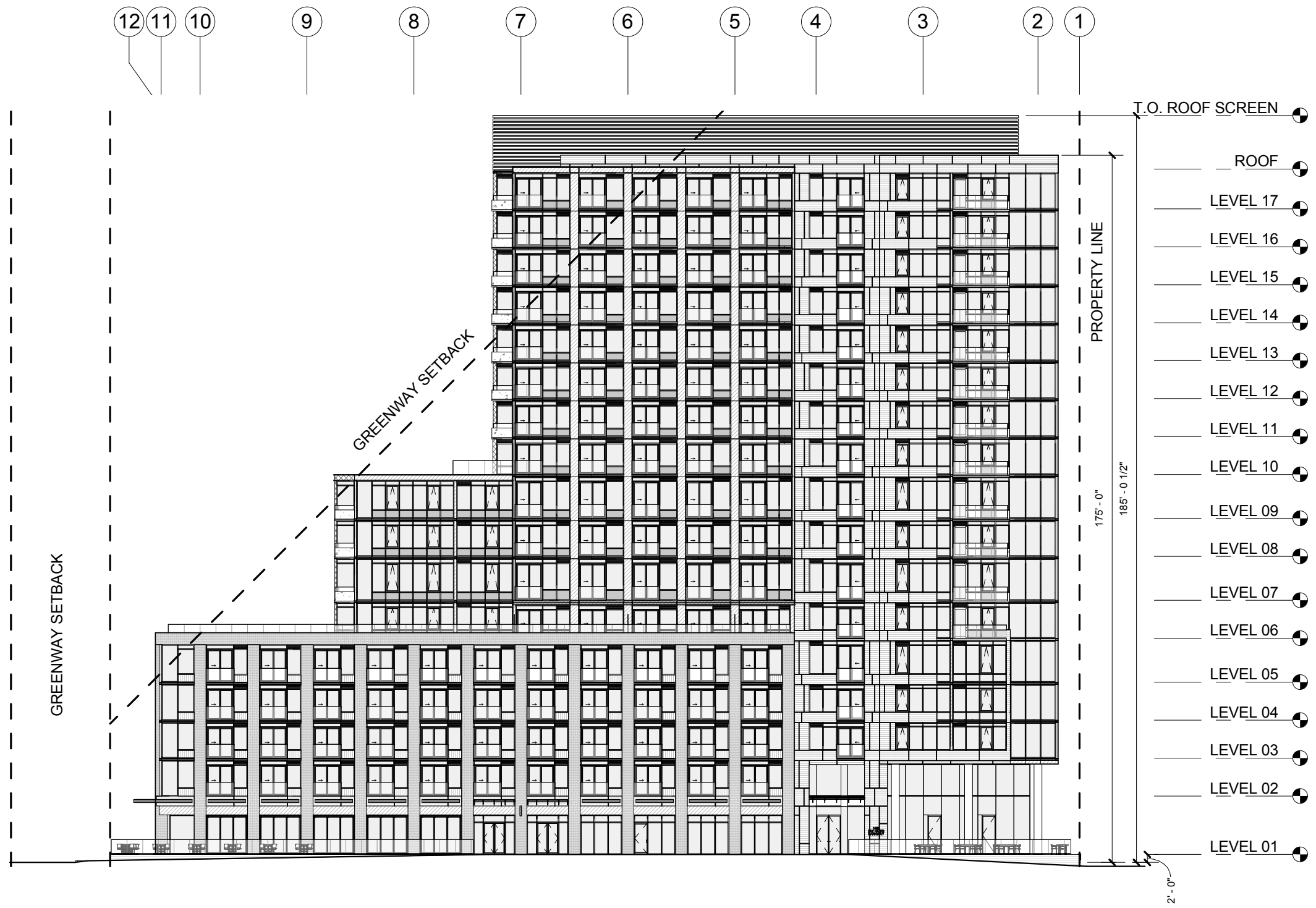


WEST

- MATERIALS LEGEND - COLOR
- GLASS - CLEAR
  - GLASS - SPANDREL - LIGHT
  - GLASS - SPANDREL - DARK
  - FLAT METAL PANEL - LIGHT
  - FLAT METAL PANEL - DARK
  - ▨ RIBBED METAL PANEL
  - FIBER CEMENT PANEL - LIGHT
  - FIBER CEMENT PANEL - DARK
  - ▨ BRICK
  - ▨ BOARD-FORMED CONCRETE

1 BUILDING ELEVATIONS - COURTYARD  
1" = 30'-0"

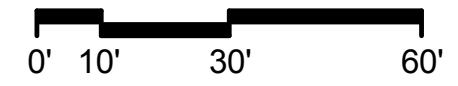


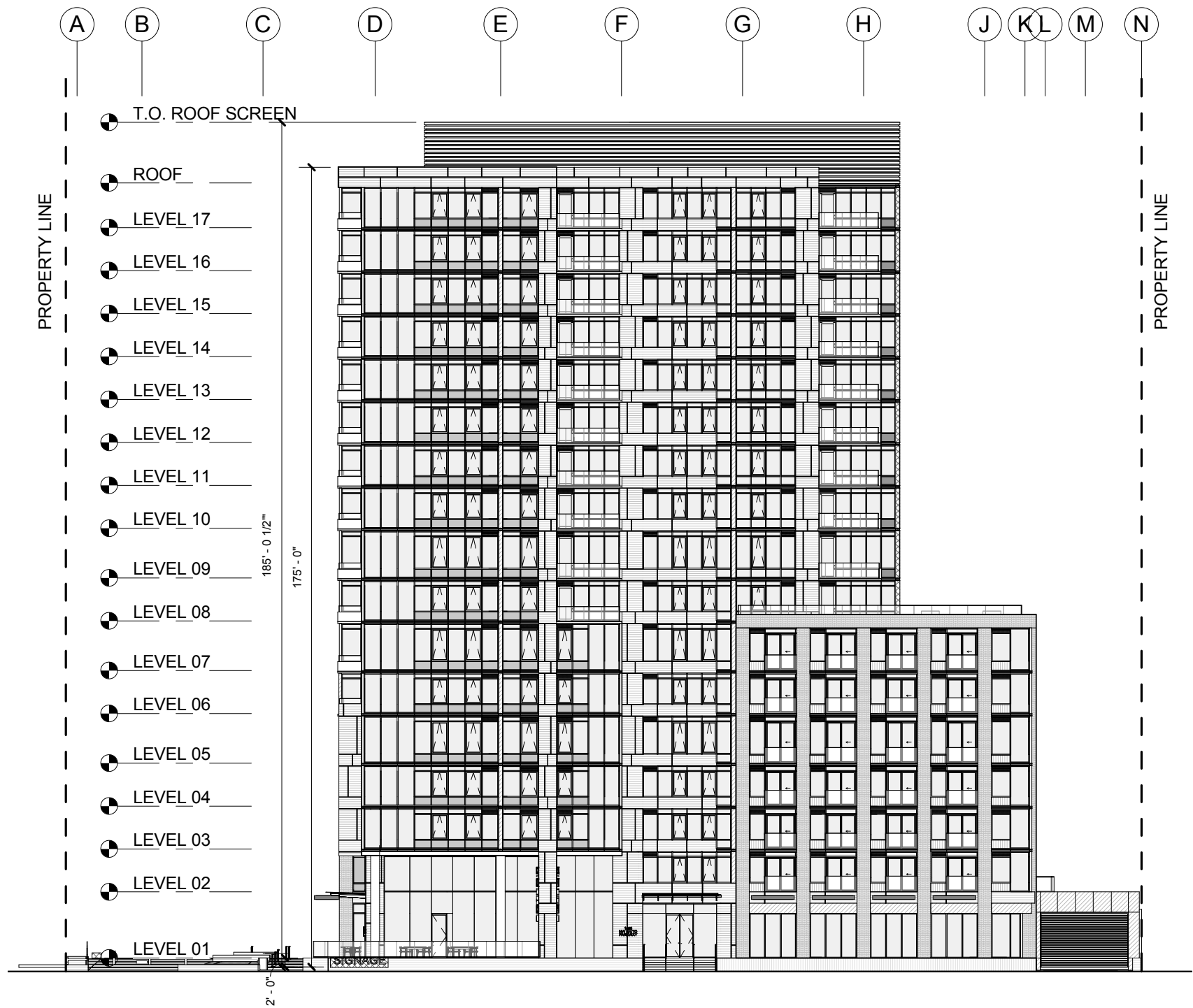


MATERIALS LEGEND - B/W

[Symbol]	GLASS - CLEAR
[Symbol]	GLASS - SPANDREL - LIGHT
[Symbol]	GLASS - SPANDREL - DARK
[Symbol]	FLAT METAL PANEL - LIGHT
[Symbol]	FLAT METAL PANEL - DARK
[Symbol]	RIBBED METAL PANEL
[Symbol]	FIBER CEMENT PANEL - LIGHT
[Symbol]	FIBER CEMENT PANEL - DARK
[Symbol]	BRICK
[Symbol]	BOARD-FORMED CONCRETE

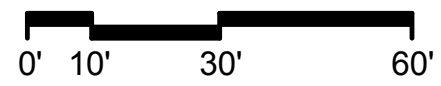
1 NORTH ELEVATION  
1" = 30'-0"

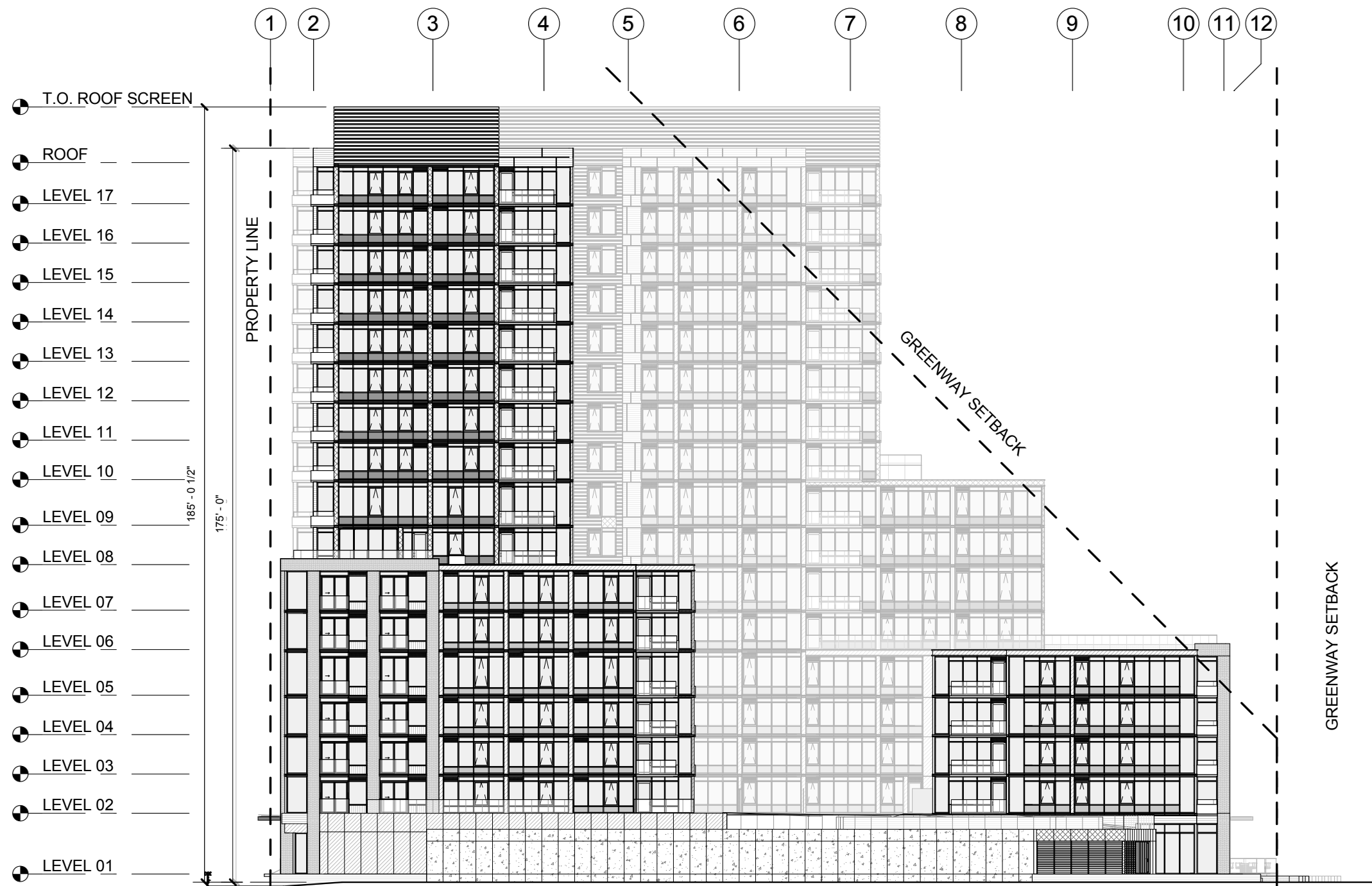




- MATERIALS LEGEND - B/W
- GLASS - CLEAR
  - GLASS - SPANDREL - LIGHT
  - GLASS - SPANDREL - DARK
  - ▨ FLAT METAL PANEL - LIGHT
  - ▩ FLAT METAL PANEL - DARK
  - ▧ RIBBED METAL PANEL
  - ▨ FIBER CEMENT PANEL - LIGHT
  - ▩ FIBER CEMENT PANEL - DARK
  - BRICK
  - BOARD-FORMED CONCRETE

1 WEST ELEVATION  
1" = 30'-0"

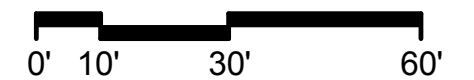


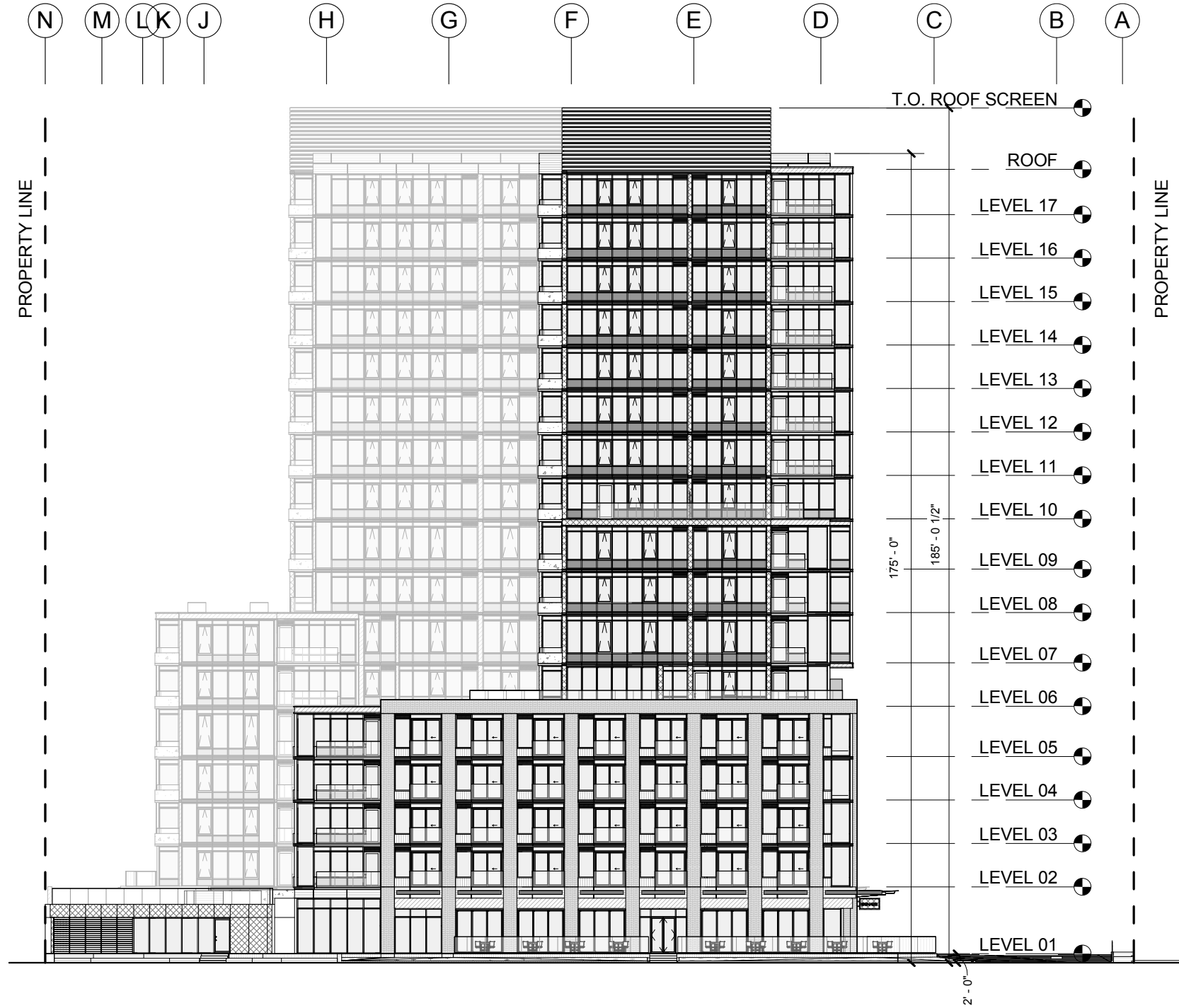


MATERIALS LEGEND - B/W

- GLASS - CLEAR
- GLASS - SPANDREL - LIGHT
- GLASS - SPANDREL - DARK
- ▨ FLAT METAL PANEL - LIGHT
- ▩ FLAT METAL PANEL - DARK
- ▧ RIBBED METAL PANEL
- ▨ FIBER CEMENT PANEL - LIGHT
- ▩ FIBER CEMENT PANEL - DARK
- ▧ BRICK
- ▨ BOARD-FORMED CONCRETE

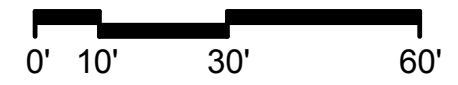
① SOUTH ELEVATION  
1" = 30'-0"

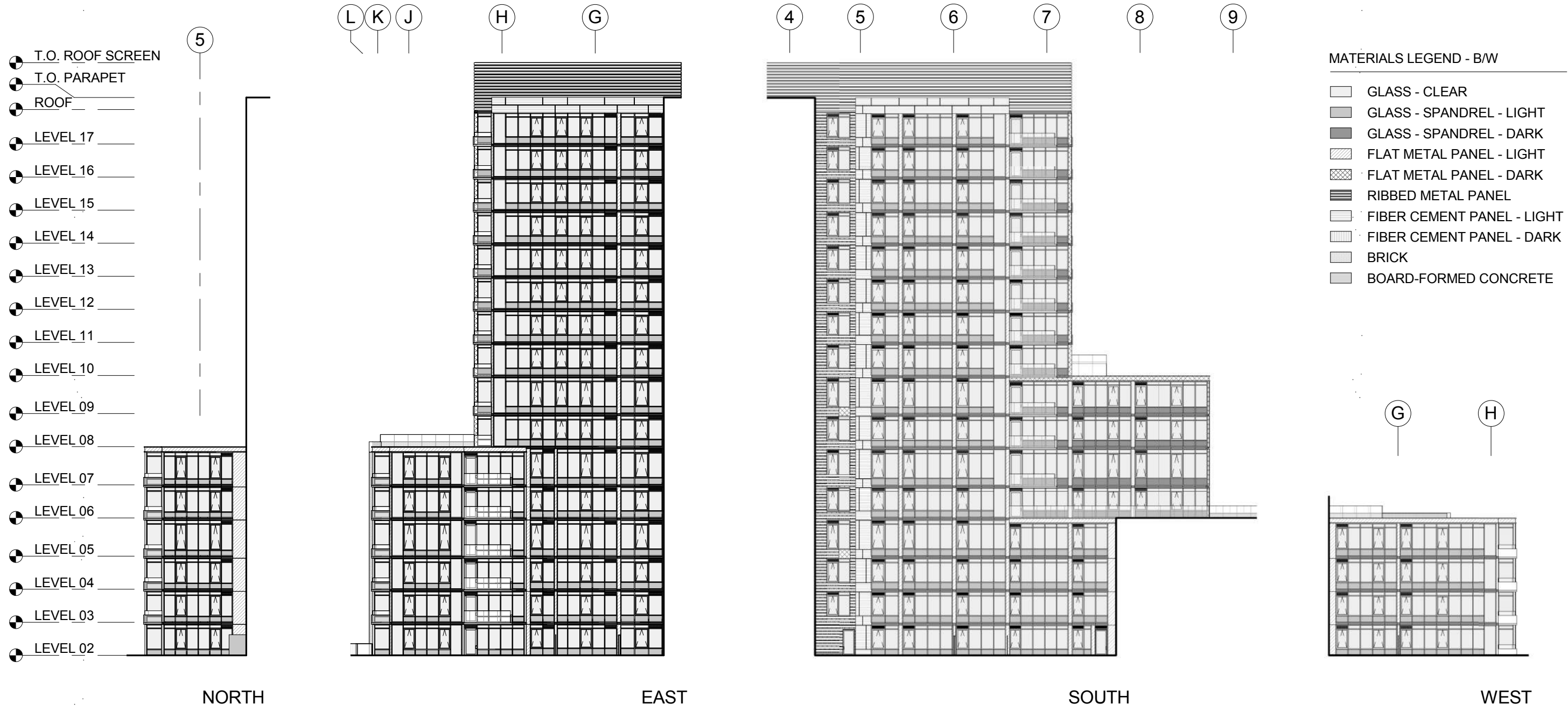




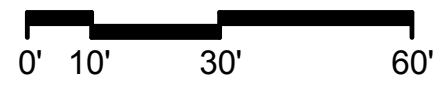
- MATERIALS LEGEND - B/W
- GLASS - CLEAR
  - ▒ GLASS - SPANDREL - LIGHT
  - GLASS - SPANDREL - DARK
  - ▨ FLAT METAL PANEL - LIGHT
  - ▩ FLAT METAL PANEL - DARK
  - ▧ RIBBED METAL PANEL
  - ▩ FIBER CEMENT PANEL - LIGHT
  - ▨ FIBER CEMENT PANEL - DARK
  - ▒ BRICK
  - ▩ BOARD-FORMED CONCRETE

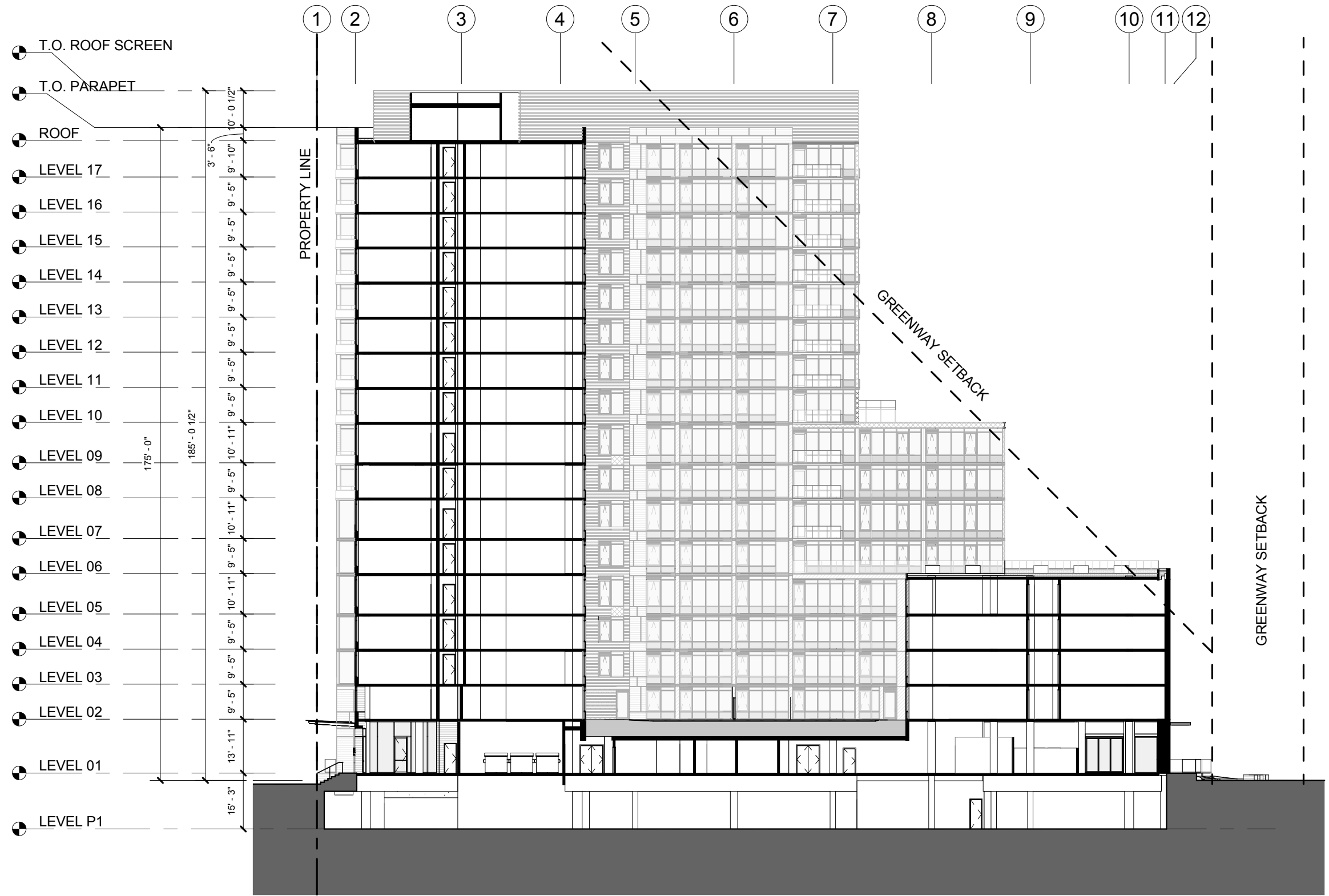
① EAST ELEVATION  
1" = 30'-0"



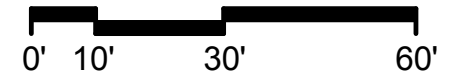


1 BUILDING ELEVATIONS - COURTYARD  
1" = 30'-0"

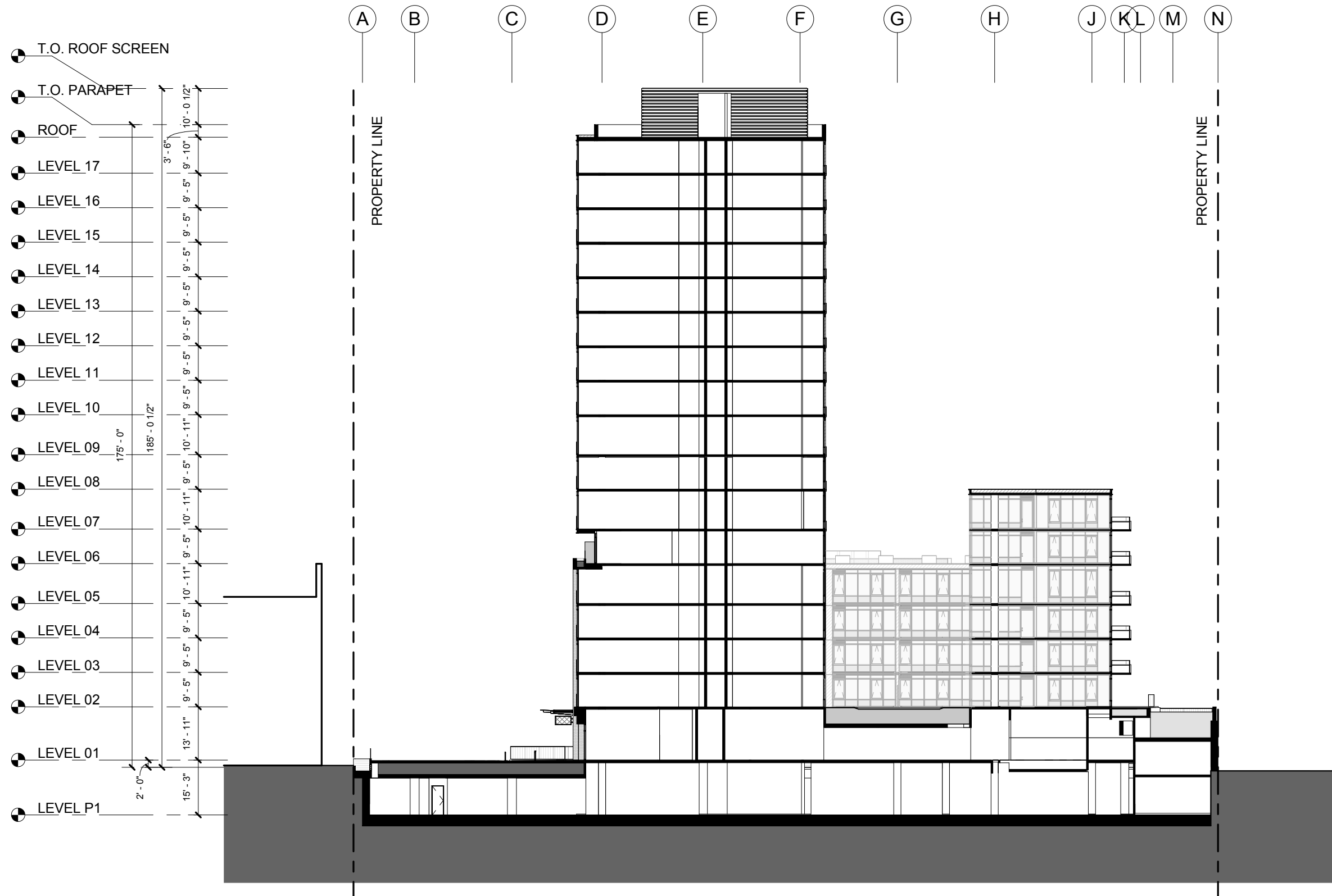




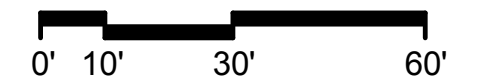
1 BUILDING SECTION - E/W  
1" = 30'-0"





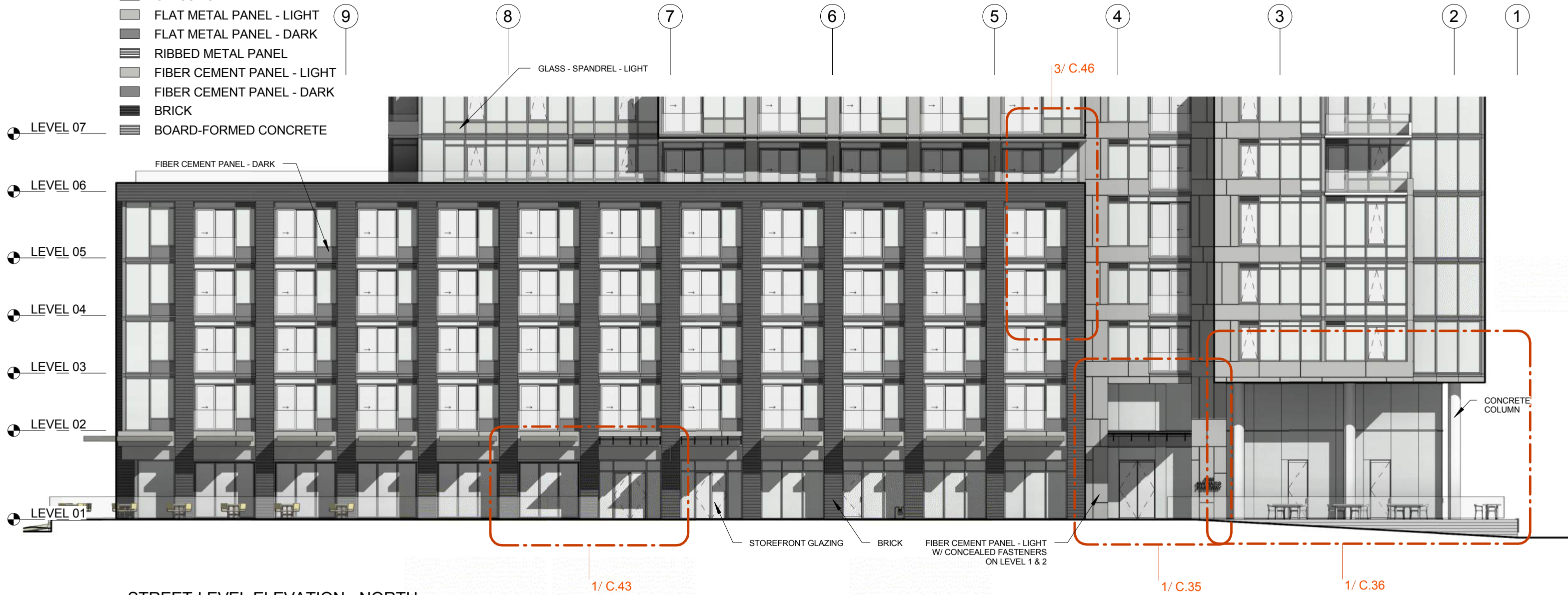


1 BUILDING SECTION - N/S  
1" = 30'-0"



MATERIALS LEGEND - COLOR

- GLASS - CLEAR
- GLASS - SPANDREL - LIGHT
- GLASS - SPANDREL - DARK
- FLAT METAL PANEL - LIGHT
- FLAT METAL PANEL - DARK
- RIBBED METAL PANEL
- FIBER CEMENT PANEL - LIGHT
- FIBER CEMENT PANEL - DARK
- BRICK
- BOARD-FORMED CONCRETE

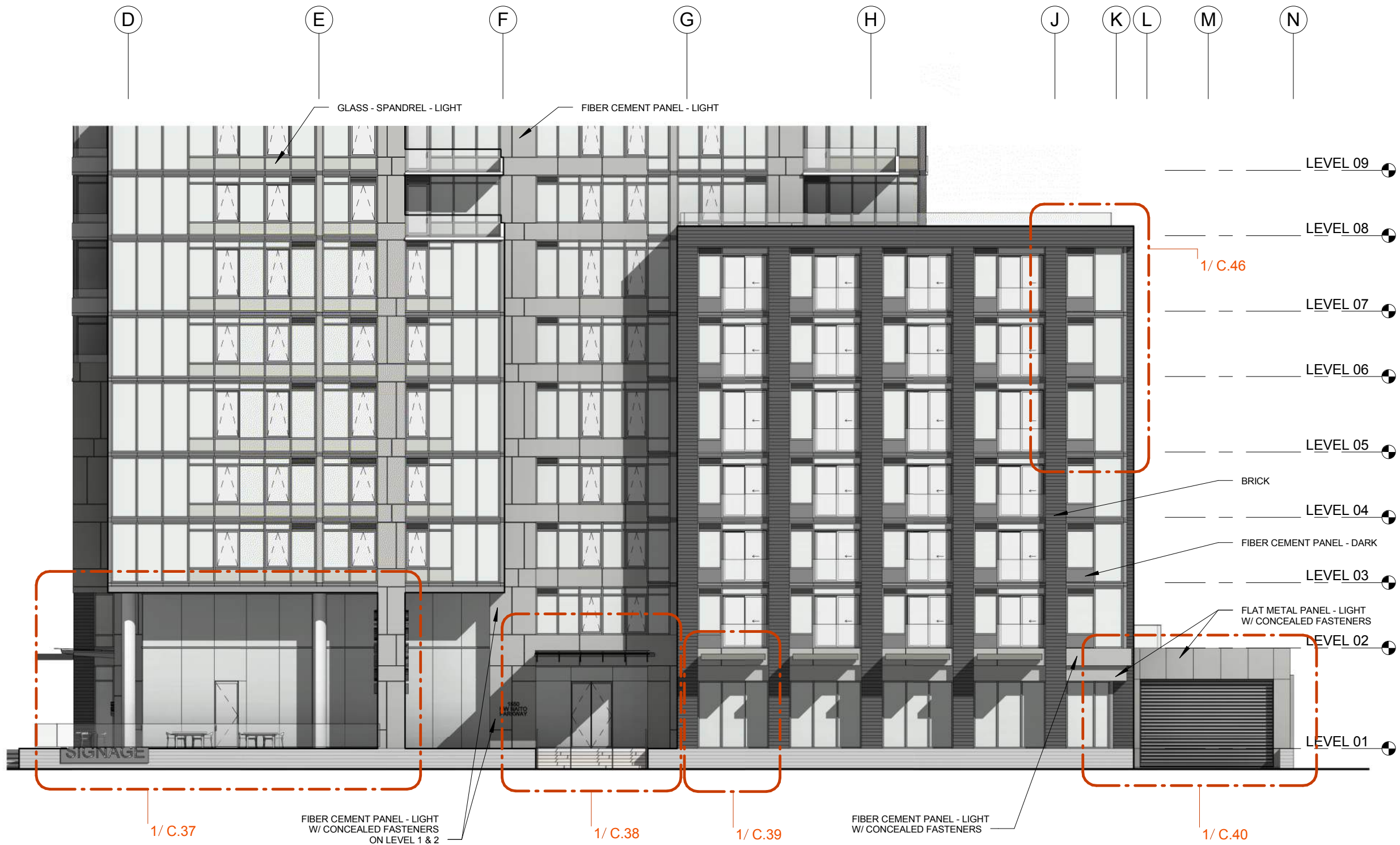


1 STREET-LEVEL ELEVATION - NORTH  
1/16" = 1'-0"



2 STREET-LEVEL ELEVATION - NORTH  
PLAZA  
1/16" = 1'-0"

**C.26** STREET-LEVEL ELEVATION - NORTH



- MATERIALS LEGEND - COLOR**
- GLASS - CLEAR
  - GLASS - SPANDREL - LIGHT
  - GLASS - SPANDREL - DARK
  - FLAT METAL PANEL - LIGHT
  - FLAT METAL PANEL - DARK
  - RIBBED METAL PANEL
  - FIBER CEMENT PANEL - LIGHT
  - FIBER CEMENT PANEL - DARK
  - BRICK
  - BOARD-FORMED CONCRETE

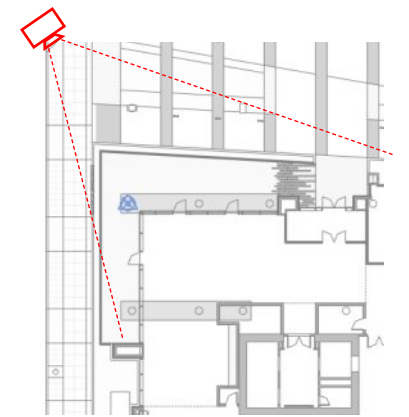
① STREET-LEVEL ELEVATION - WEST  
 1/16" = 1'-0"



1 STREET-LEVEL ELEVATION - SOUTH  
1/16" = 1'-0"



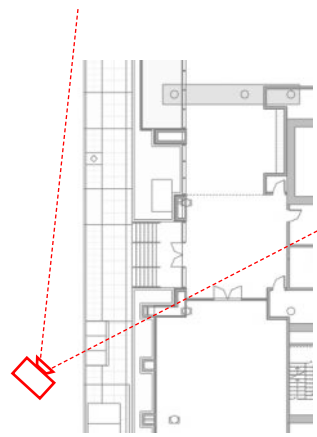
1 STREET-LEVEL ELEVATION - EAST  
 1/16" = 1'-0"

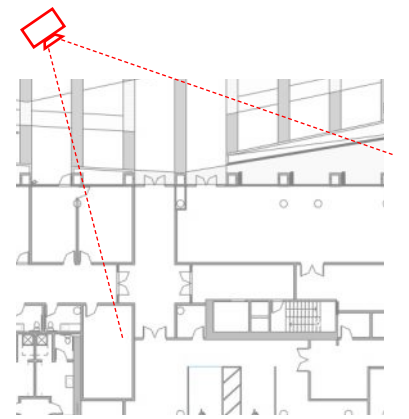


C.30 NW CORNER

FREMONT APARTMENTS  
lincoln property company  
DESIGN REVIEW # LU 16-278621 DZ GW

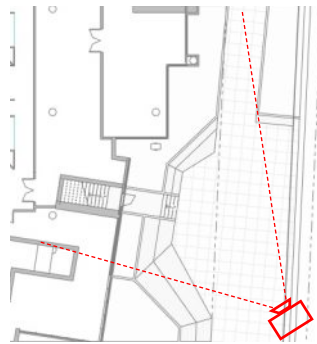


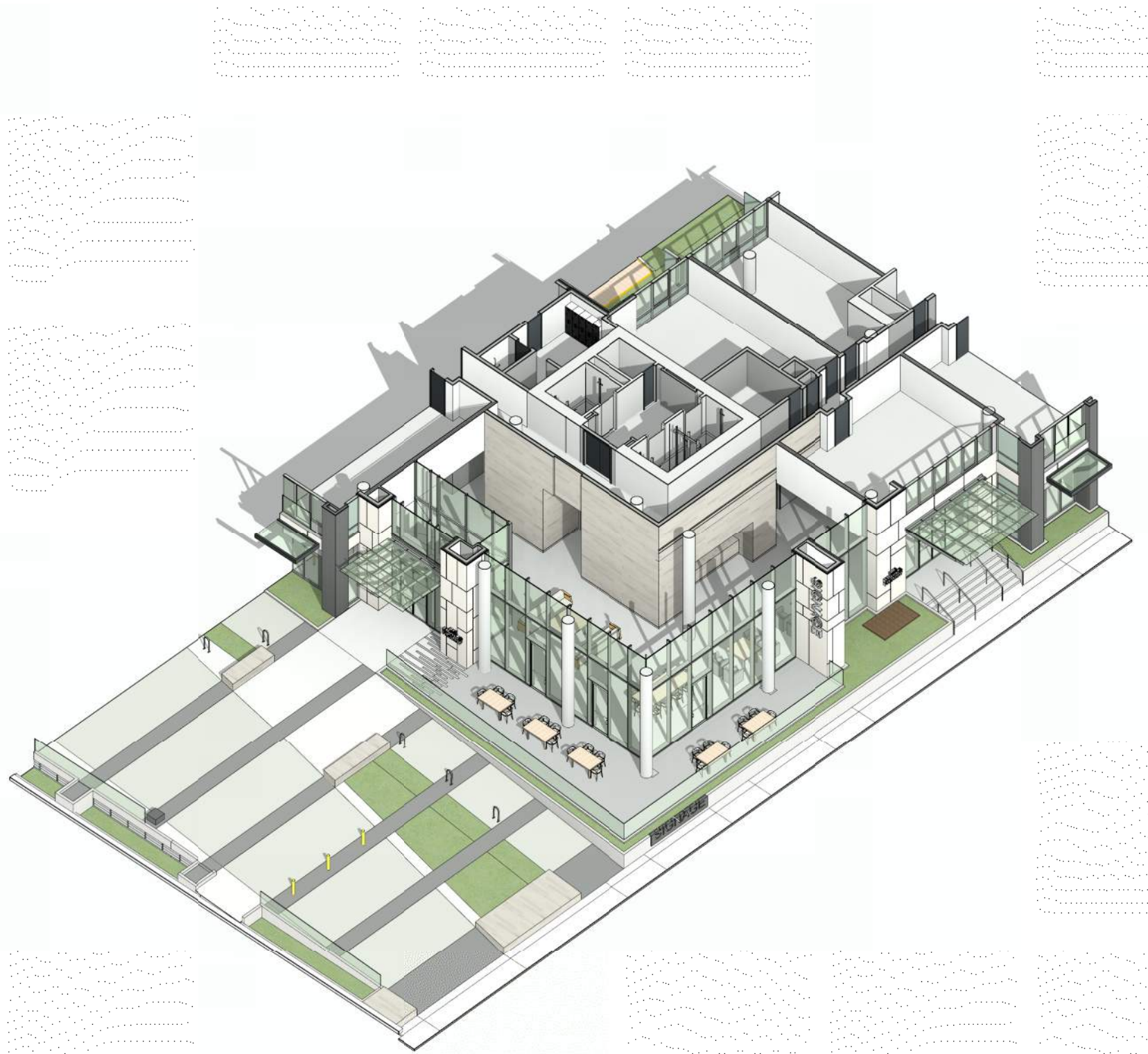
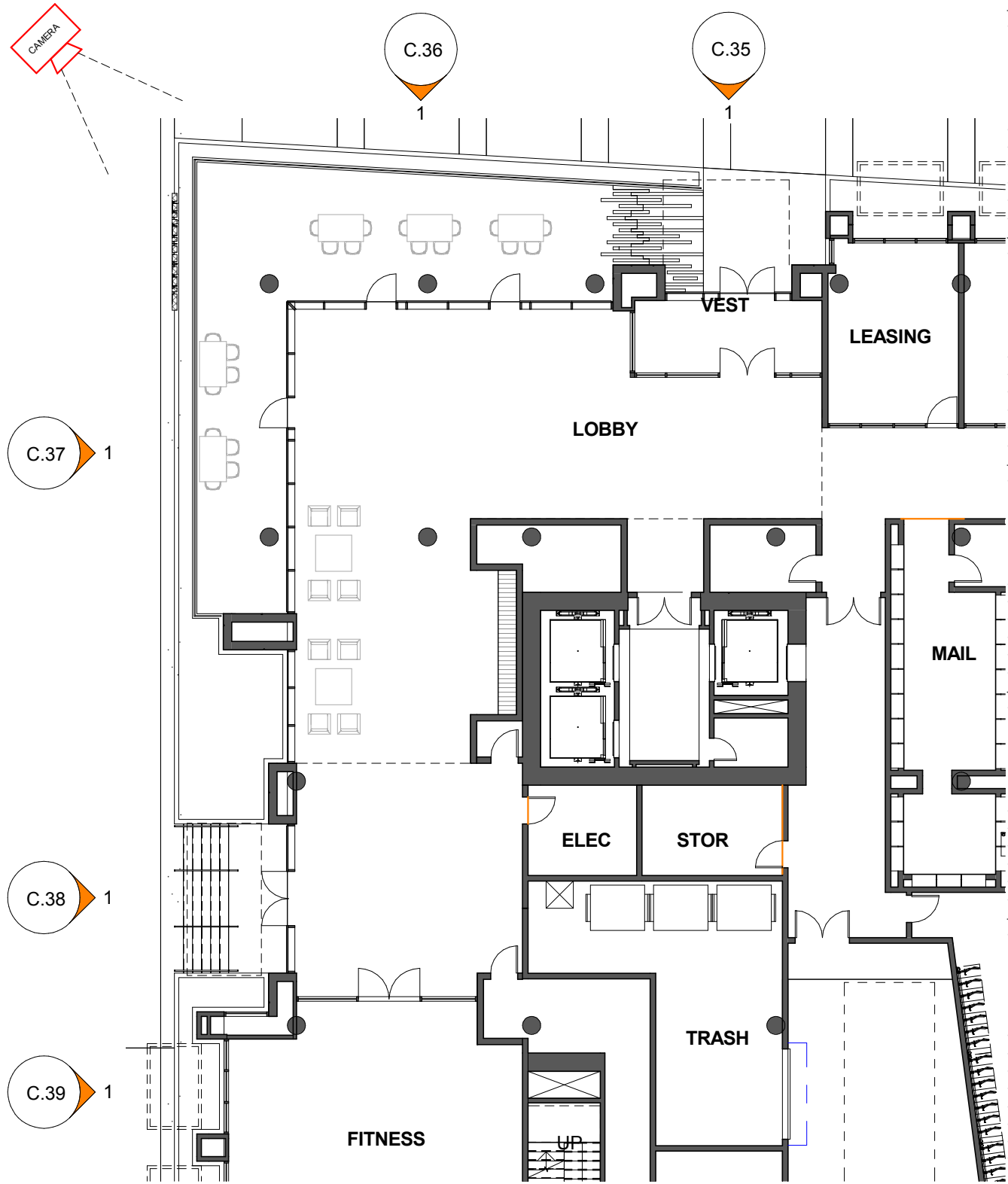




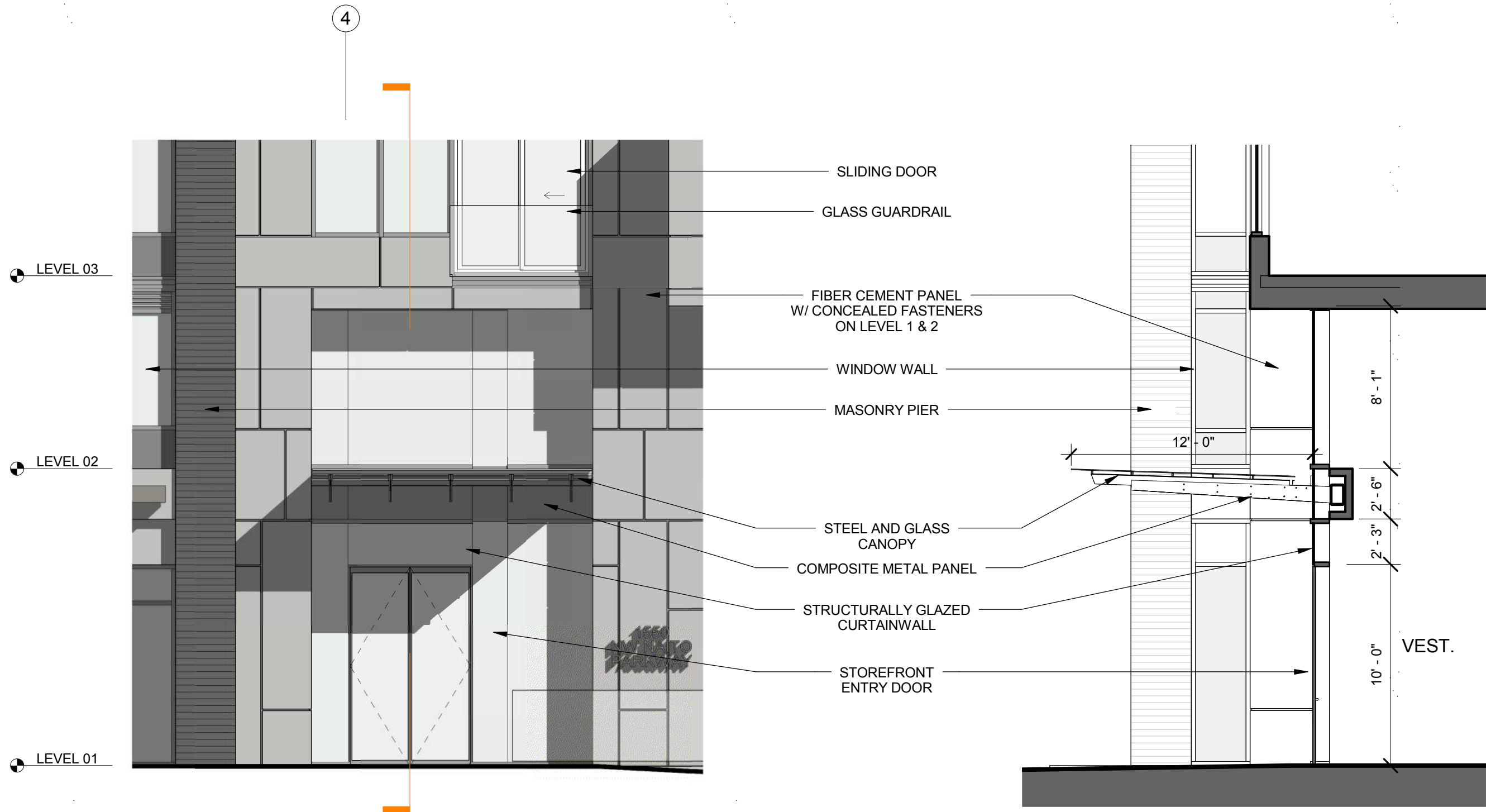
**C.32 RESTAURANT & PLAZA**



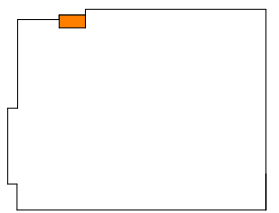


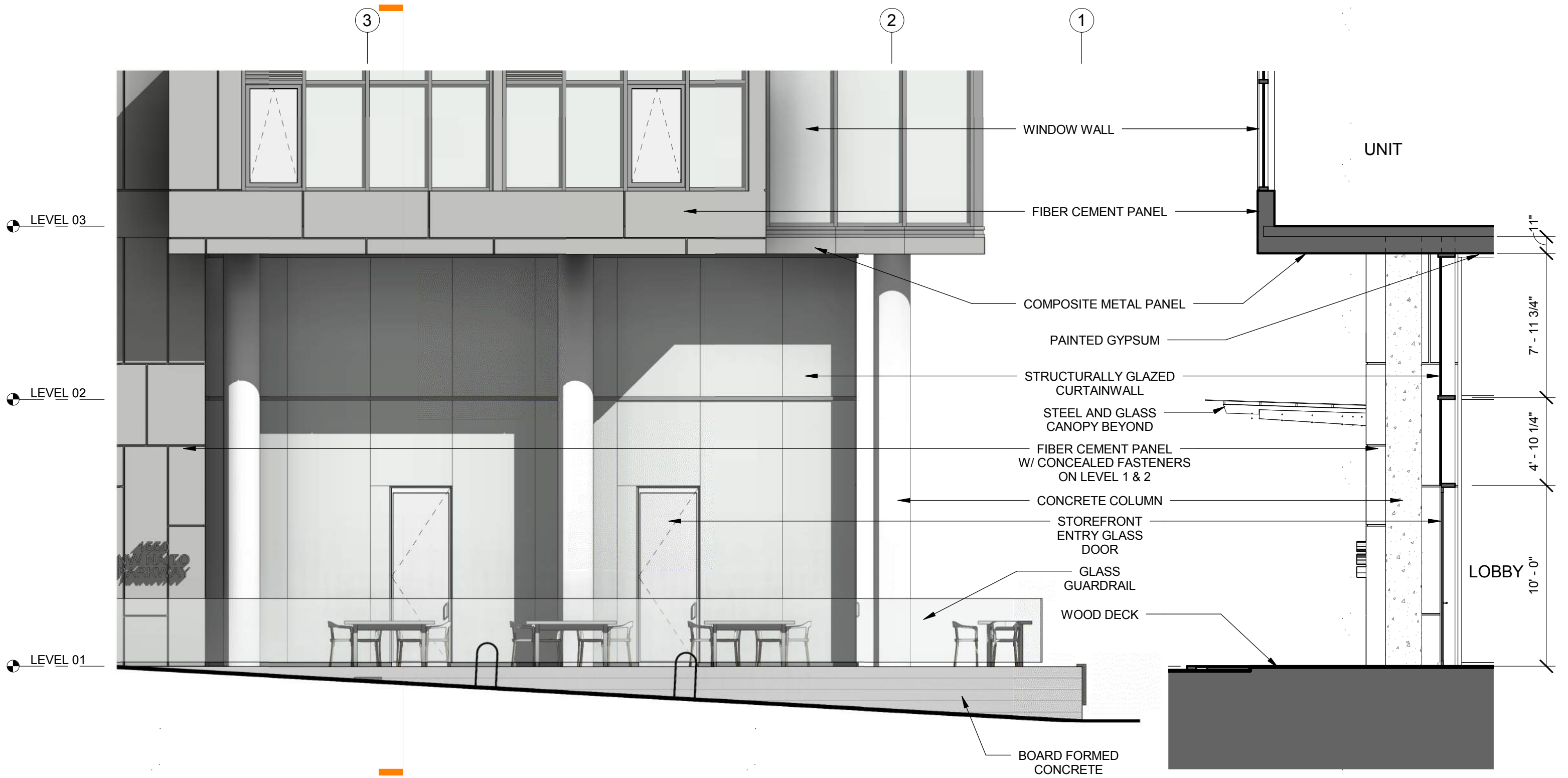


**C.34** NW CORNER

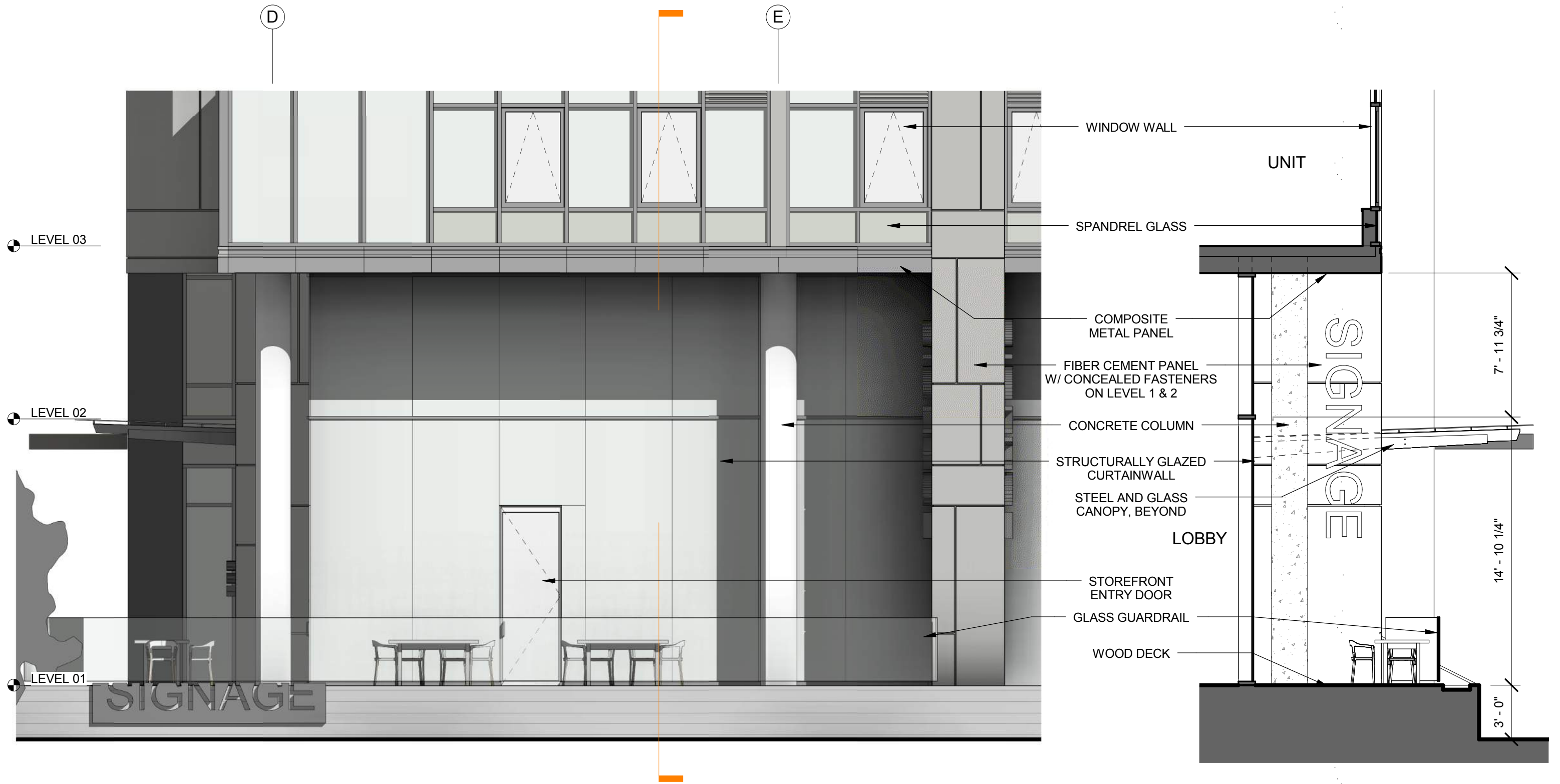


1 NORTH BUILDING ENTRANCE  
3/16" = 1'-0"

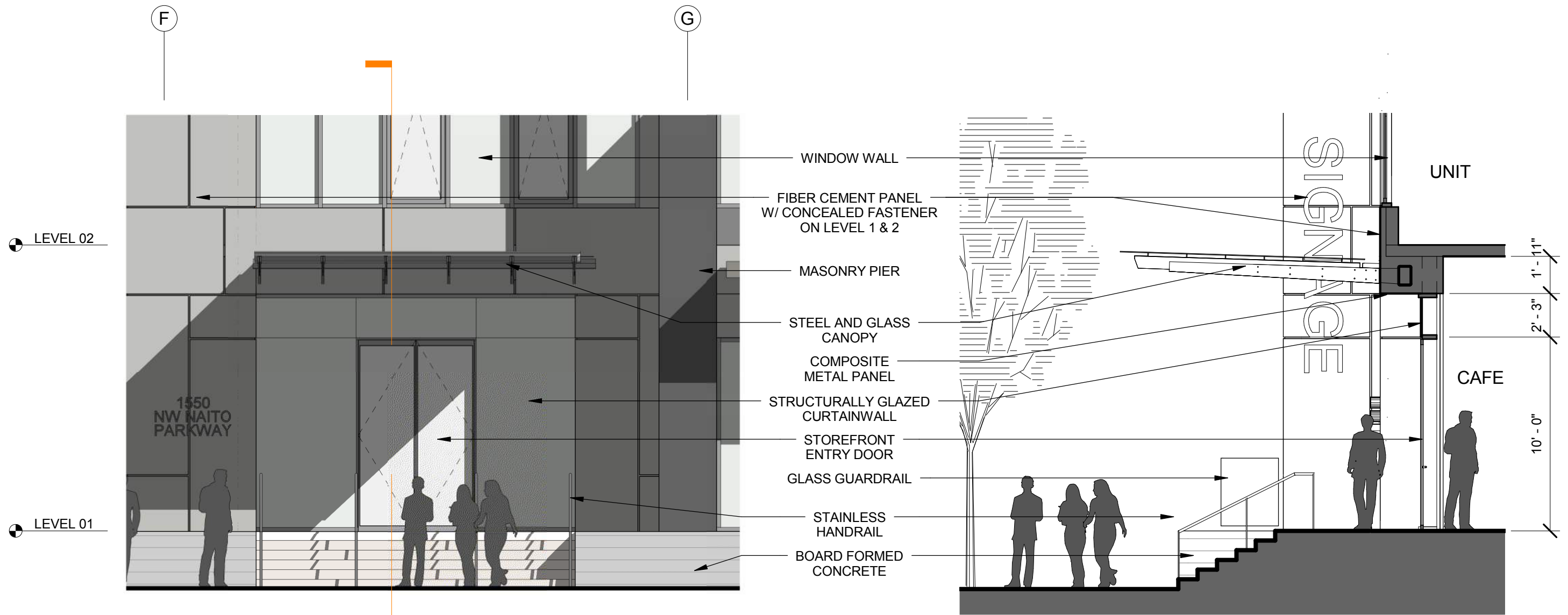




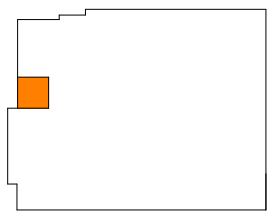
1 NW CORNER - NORTH ELEVATION  
3/16" = 1'-0"

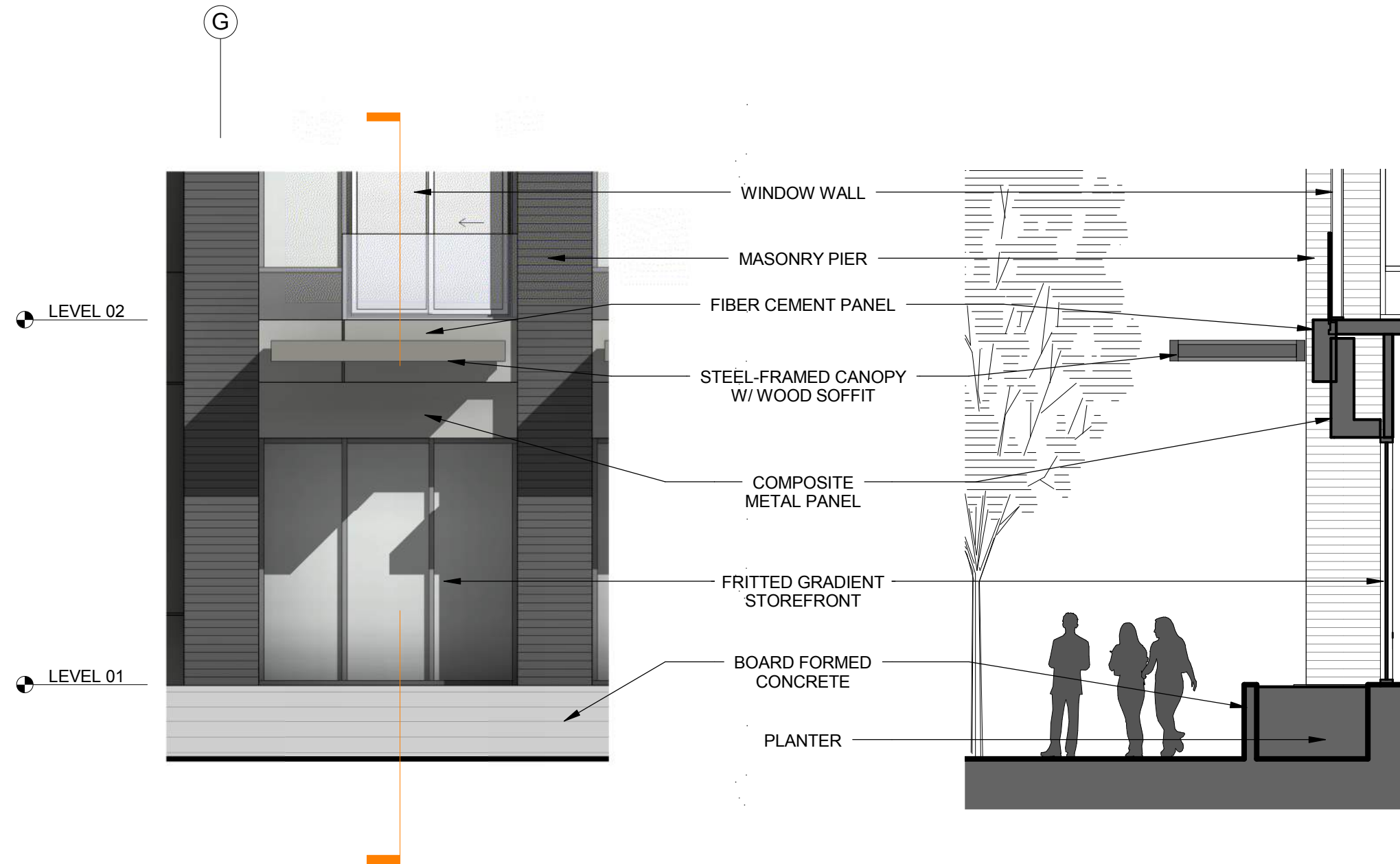


1 NW CORNER - WEST ELEVATION  
 3/16" = 1'-0"



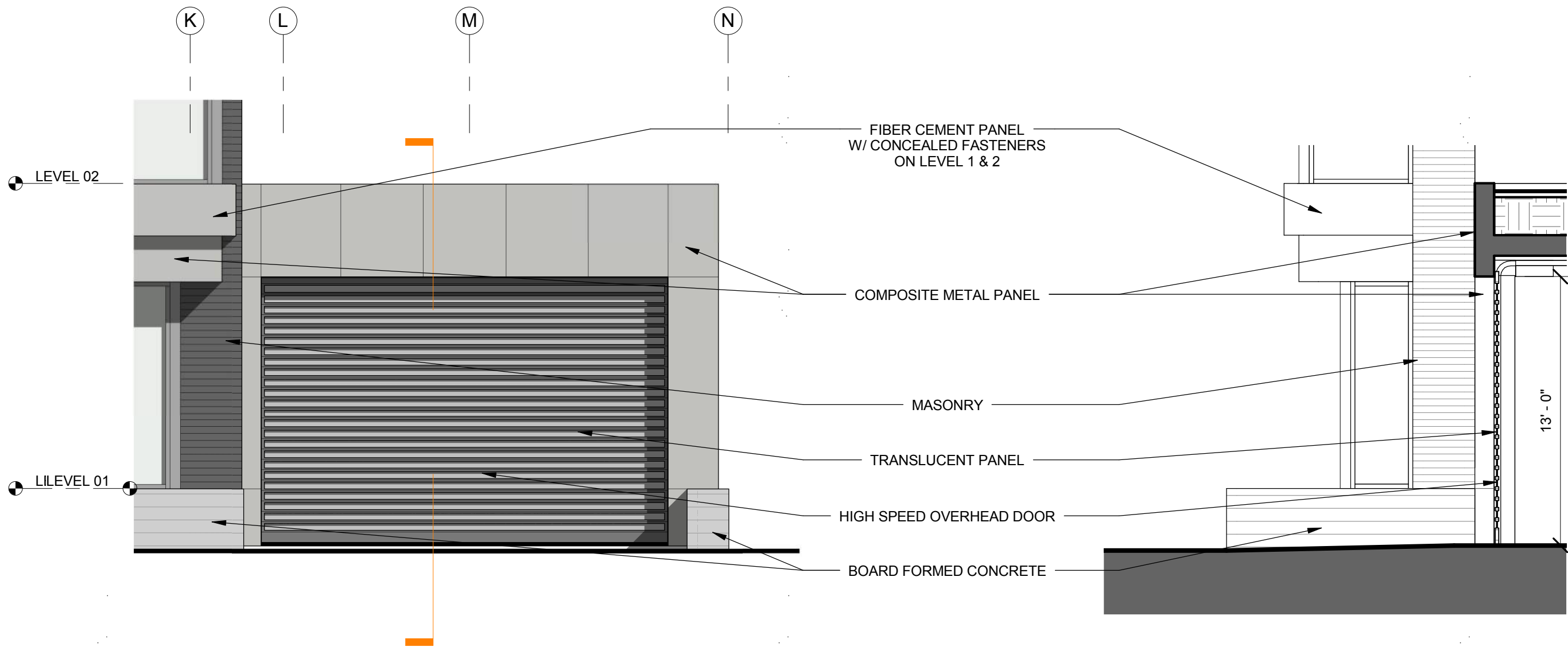
① WEST BUILDING ENTRANCE  
3/16" = 1'-0"



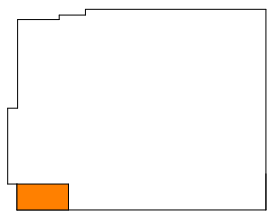


1 WEST FACADE CANOPY  
3/16" = 1'-0"

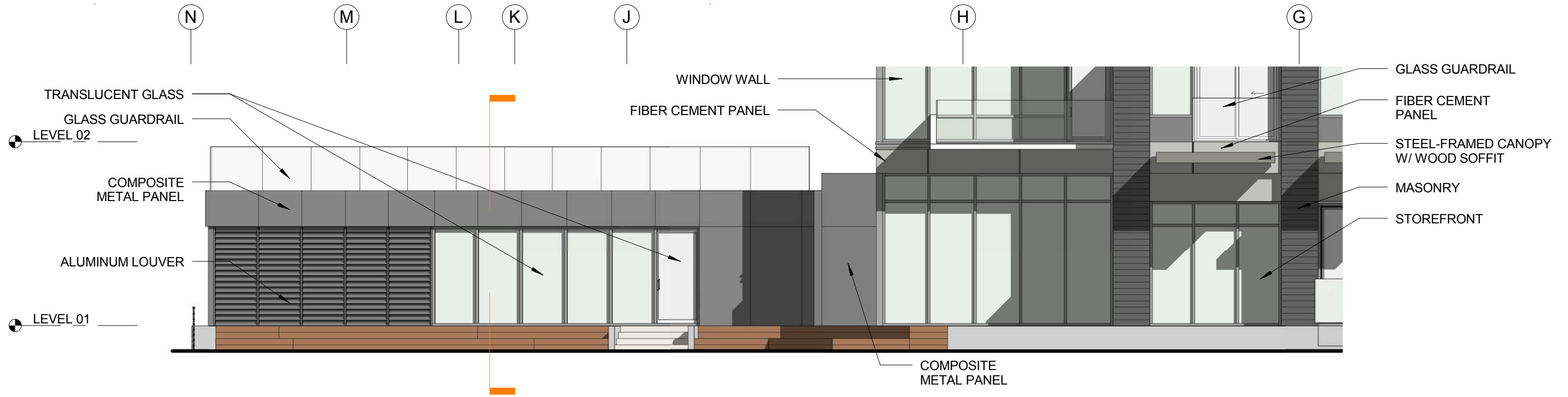




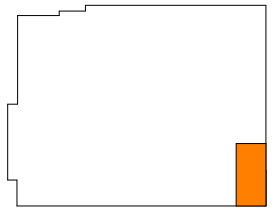
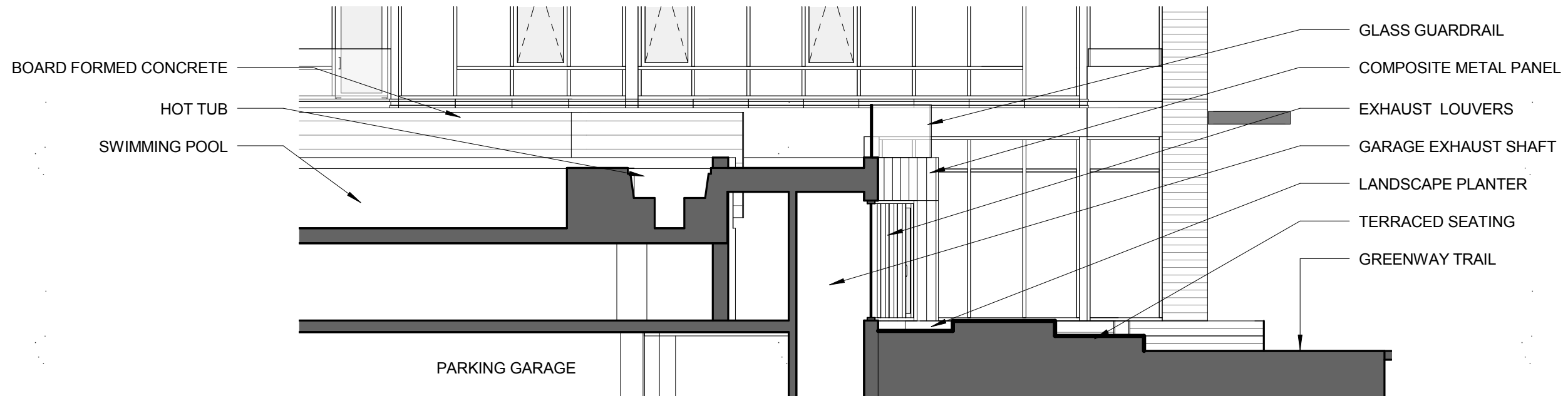
① GARAGE ENTRANCE  
3/16" = 1'-0"

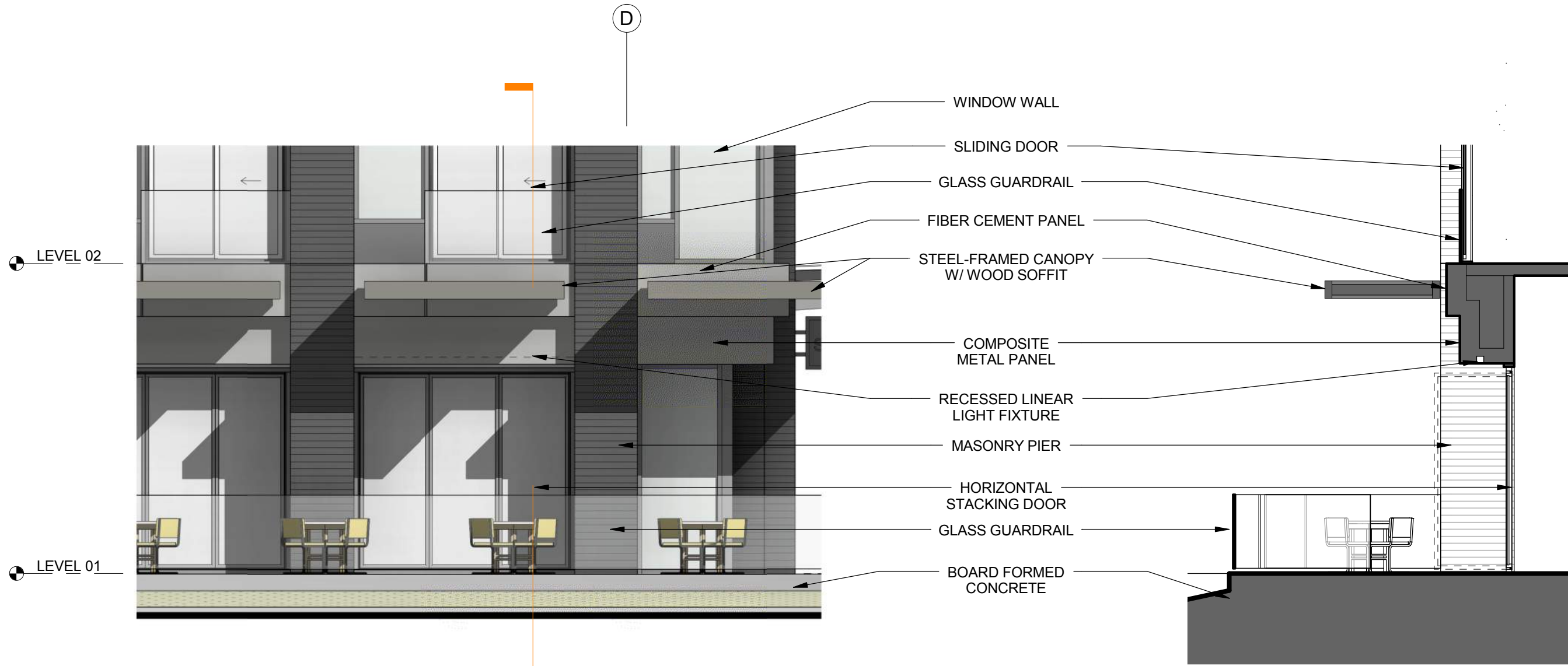




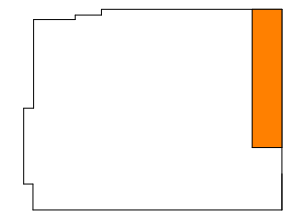


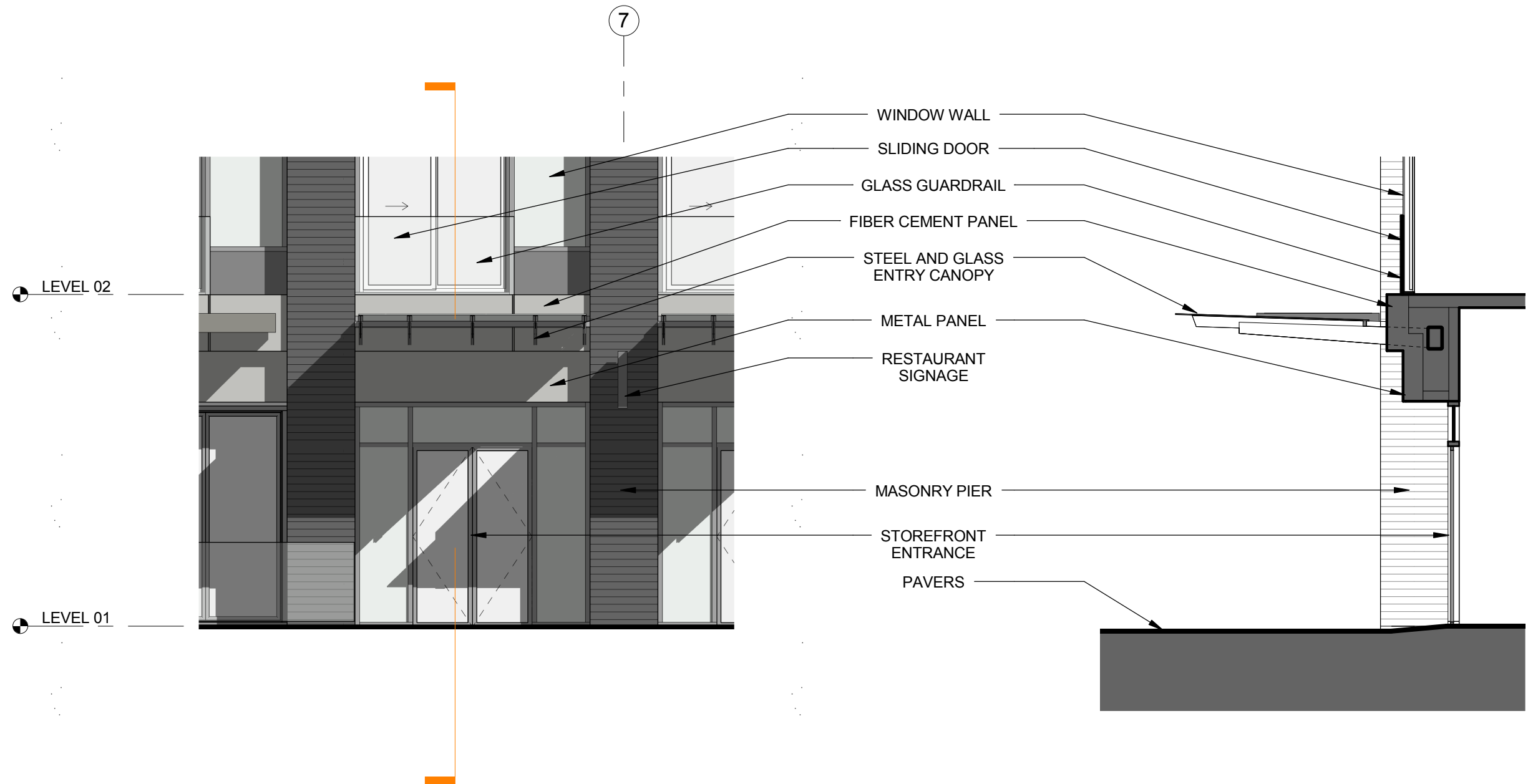
① SE CORNER  
1/8" = 1'-0"





1 RESTAURANT PATIO - EAST  
3/16" = 1'-0"



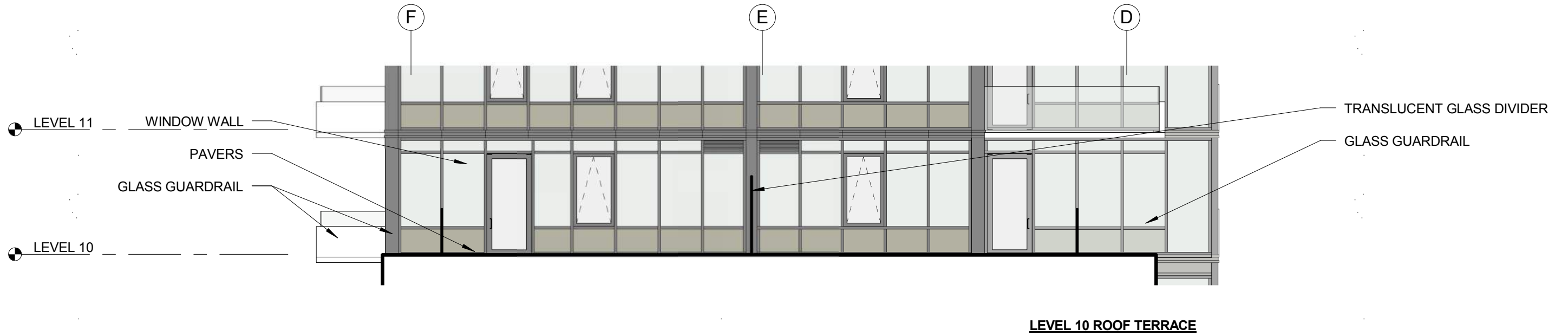
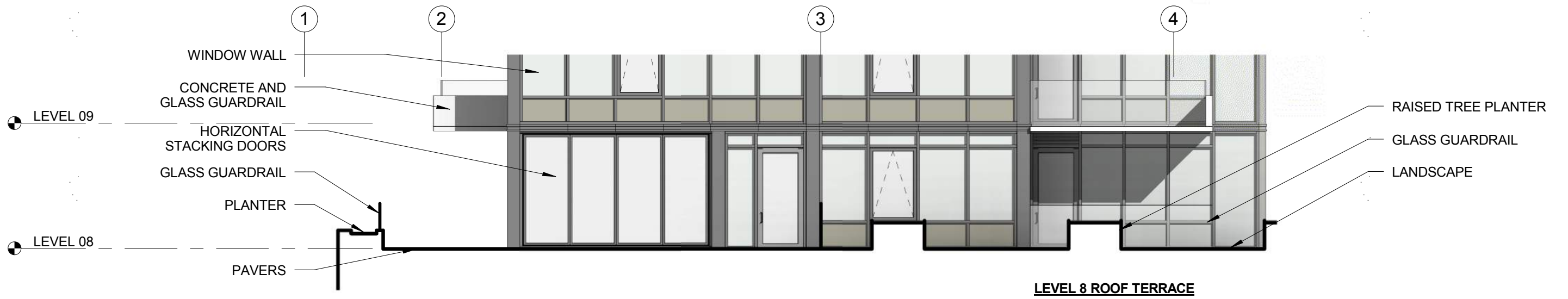


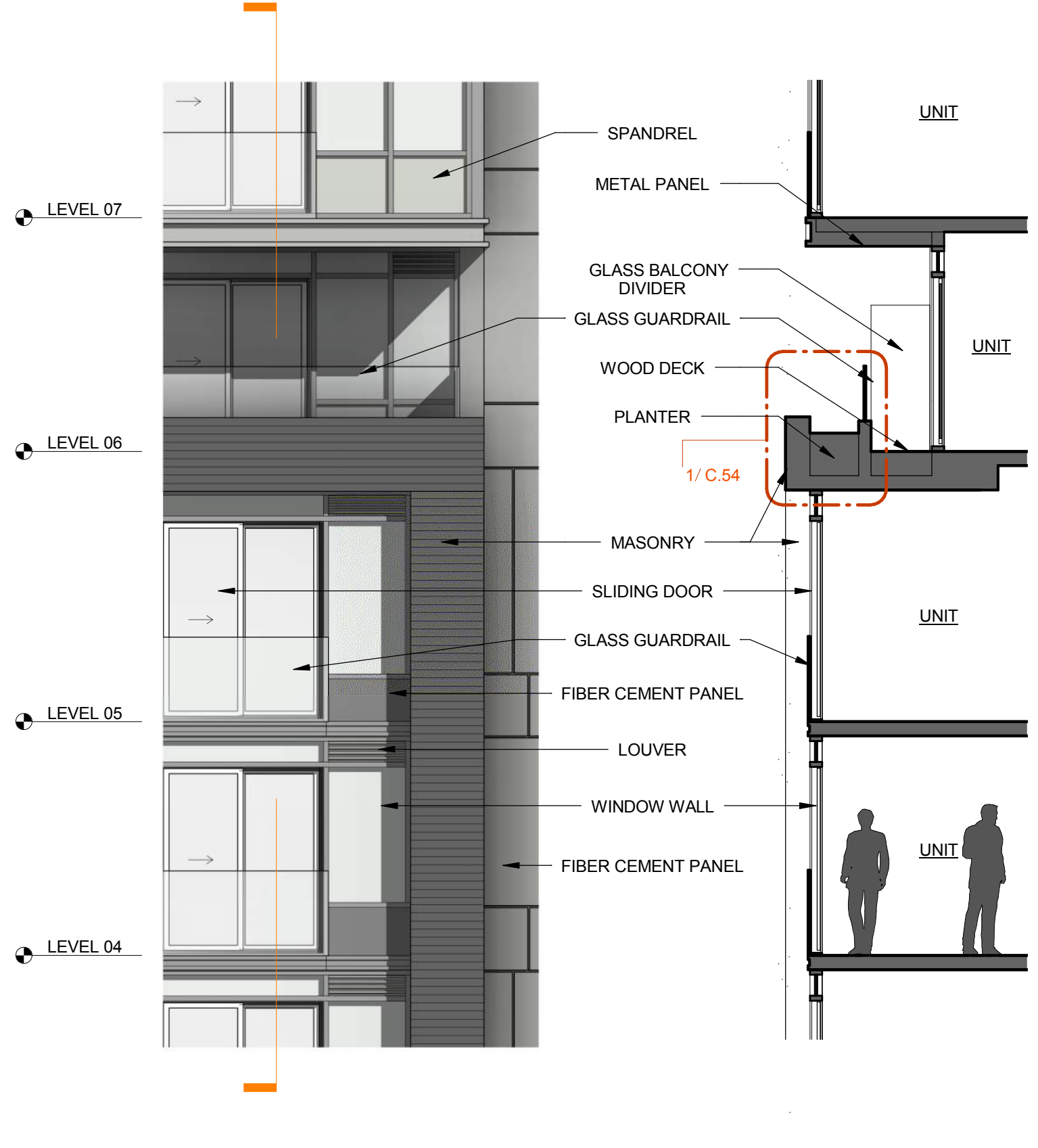
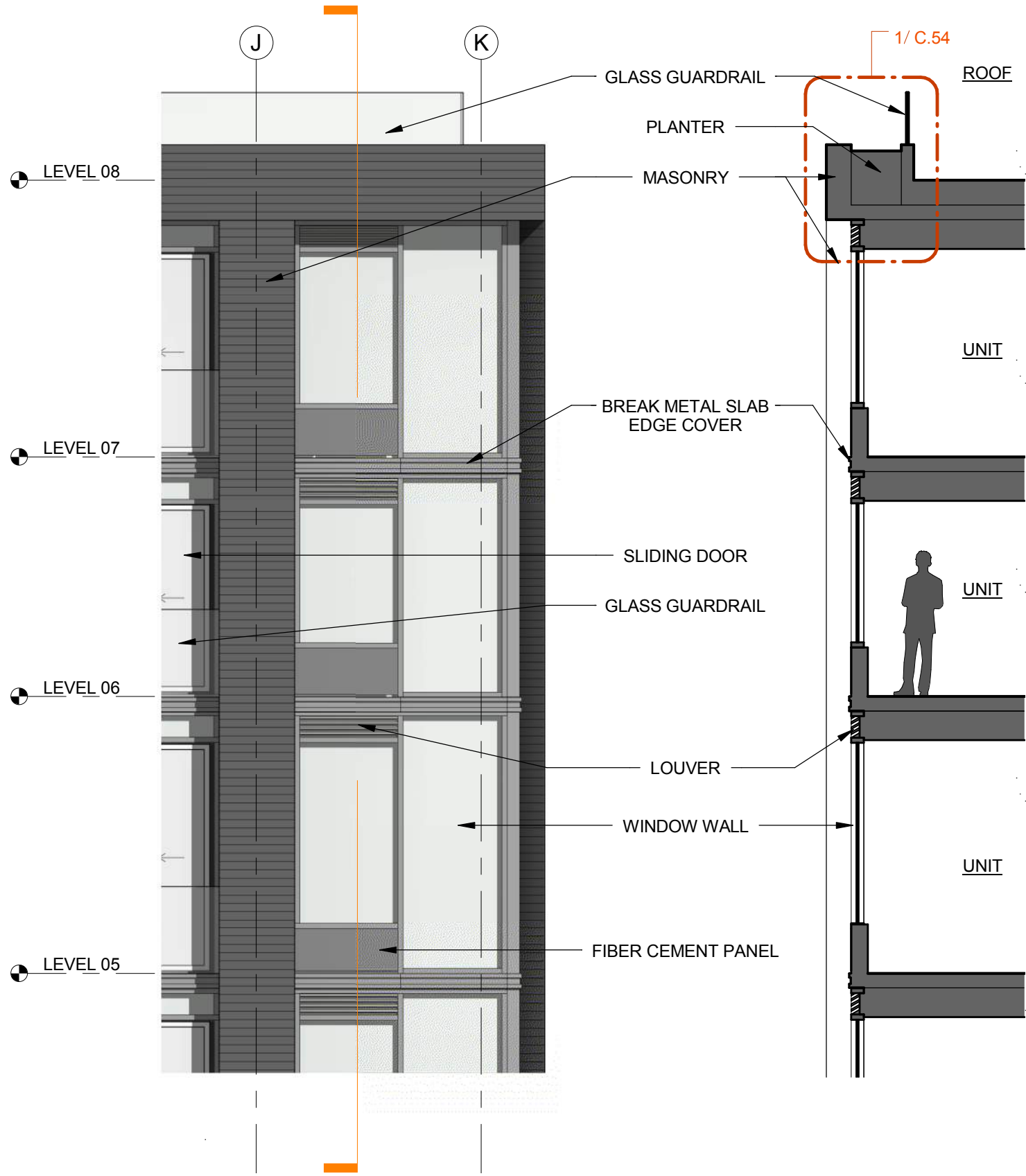
① RESTAURANT ENTRANCE  
3/16" = 1'-0"



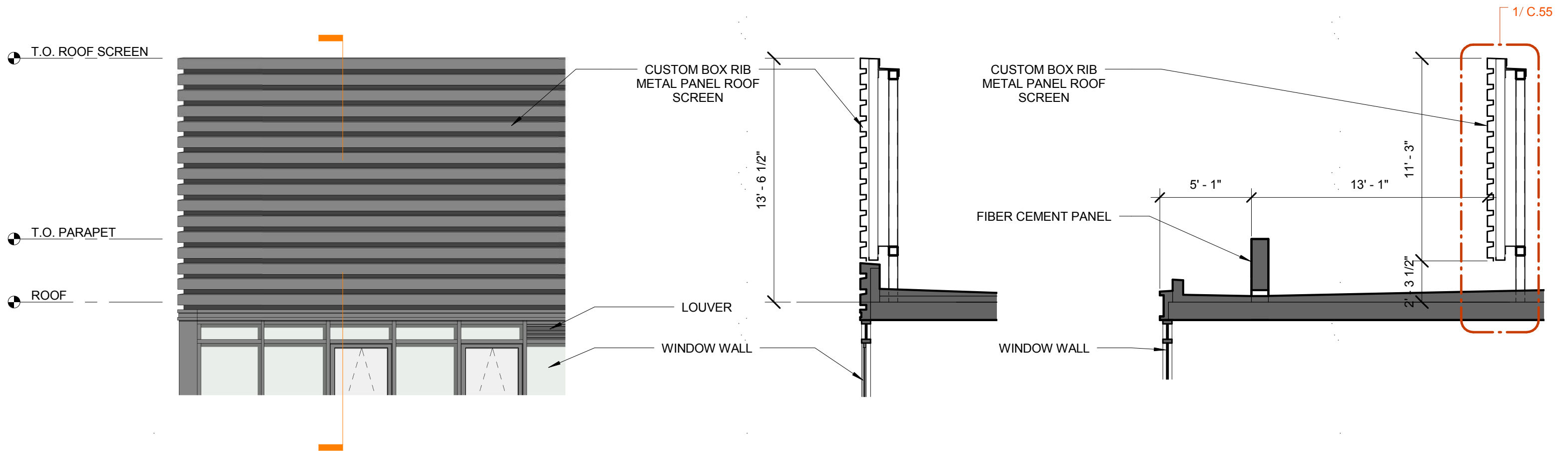
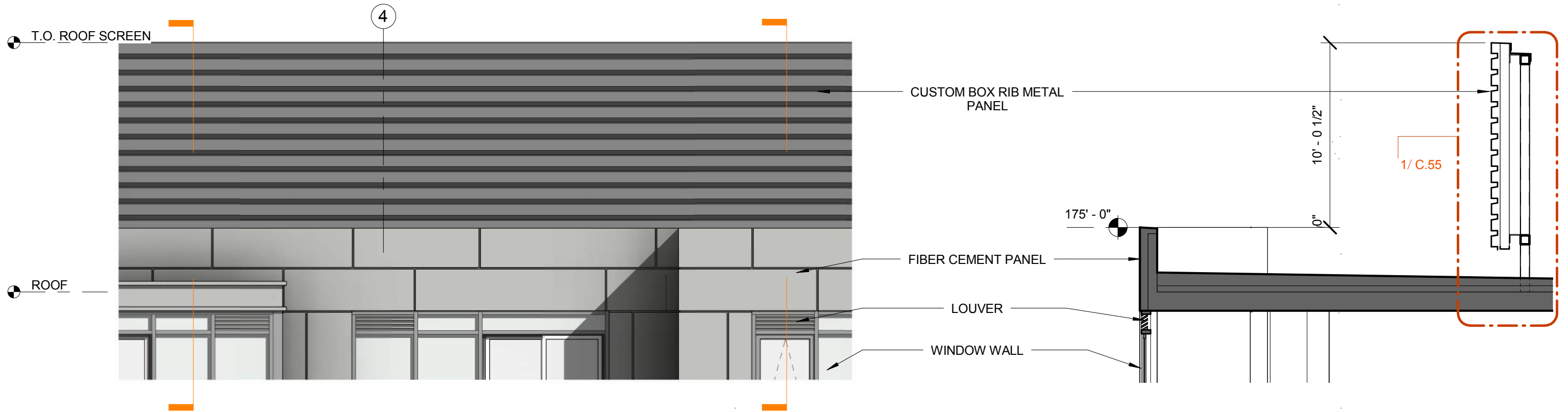


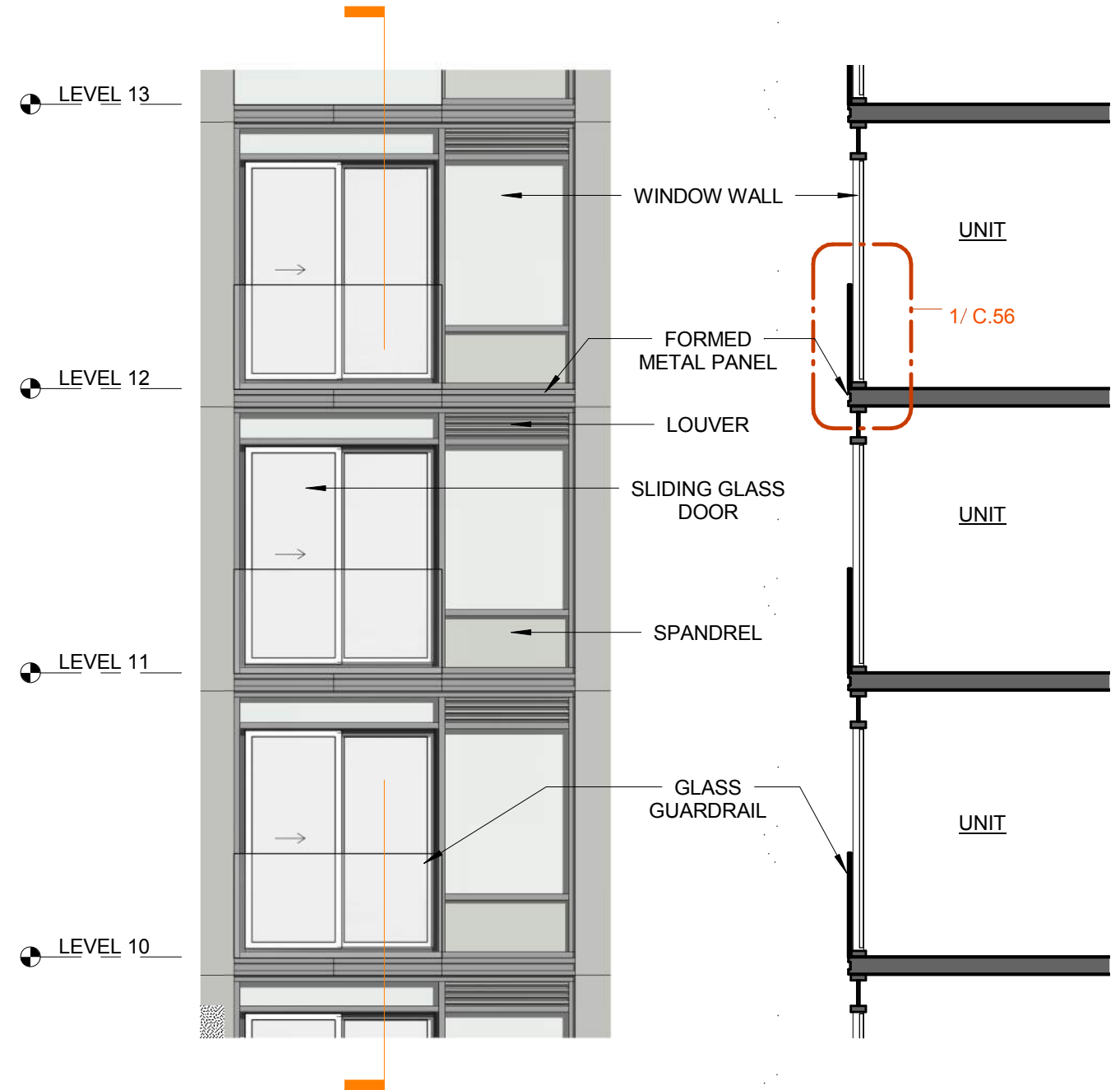
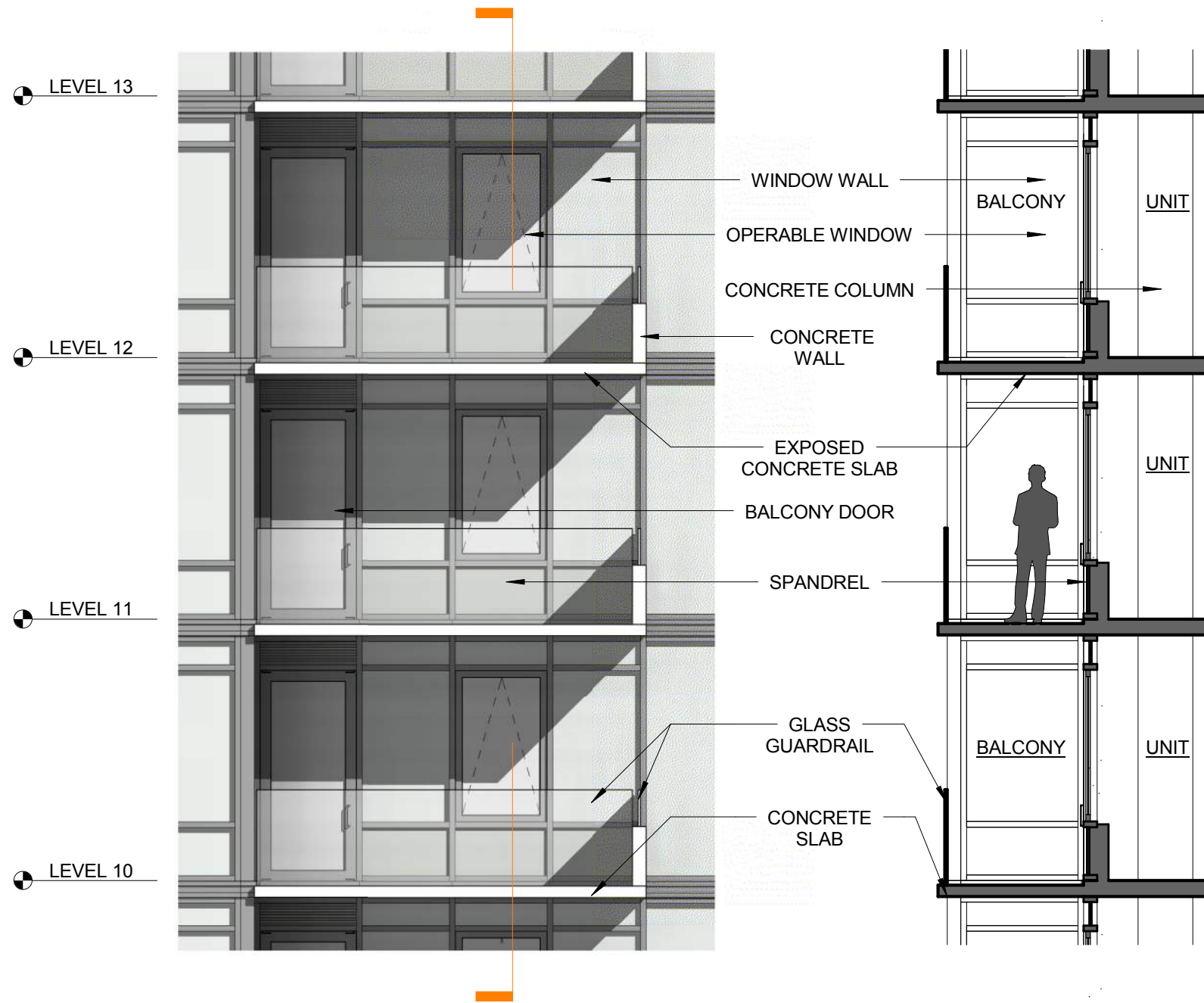
**C.44** ROOF TERRACE - LEVEL 2



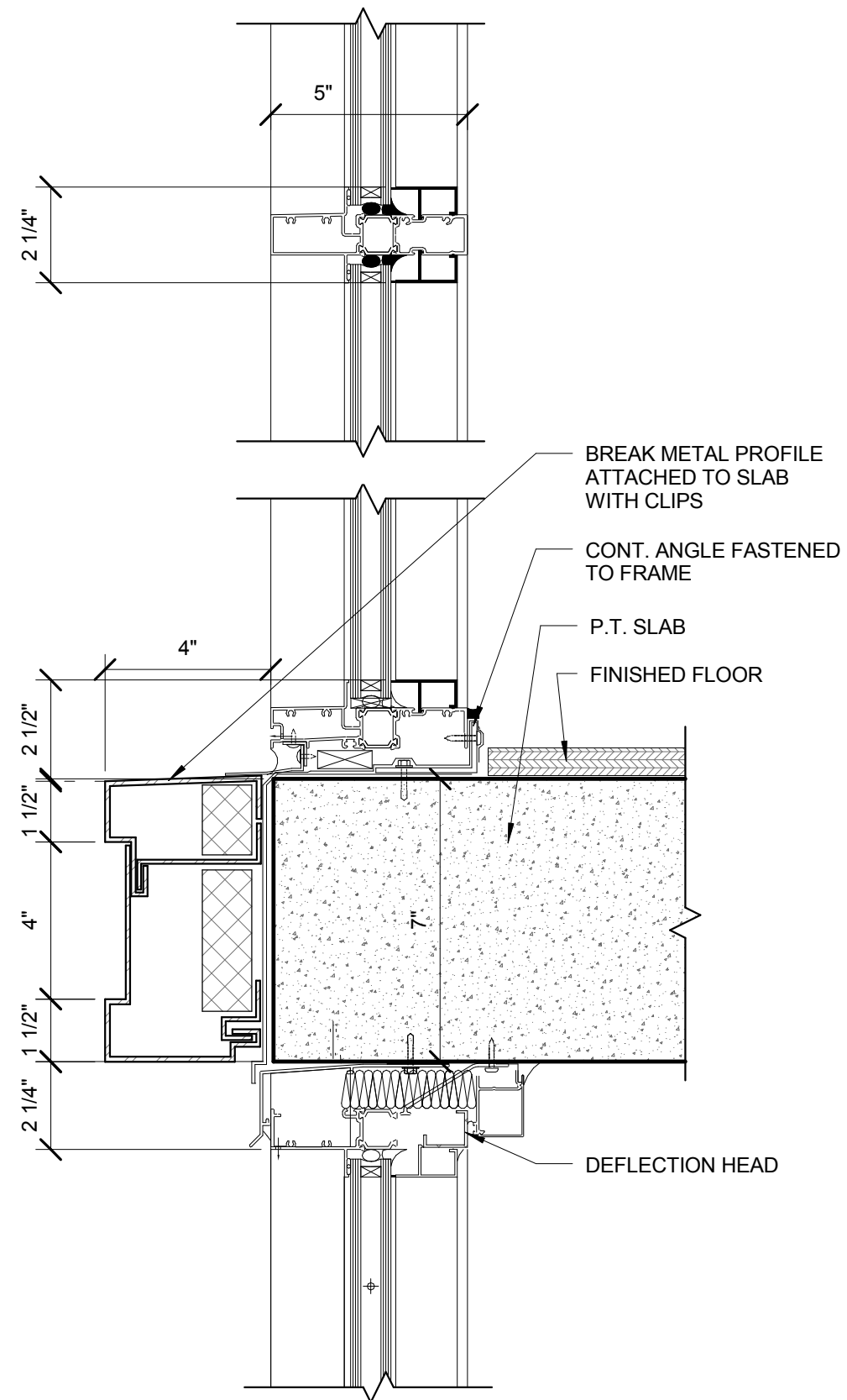


**C.46** PODIUM PARAPET

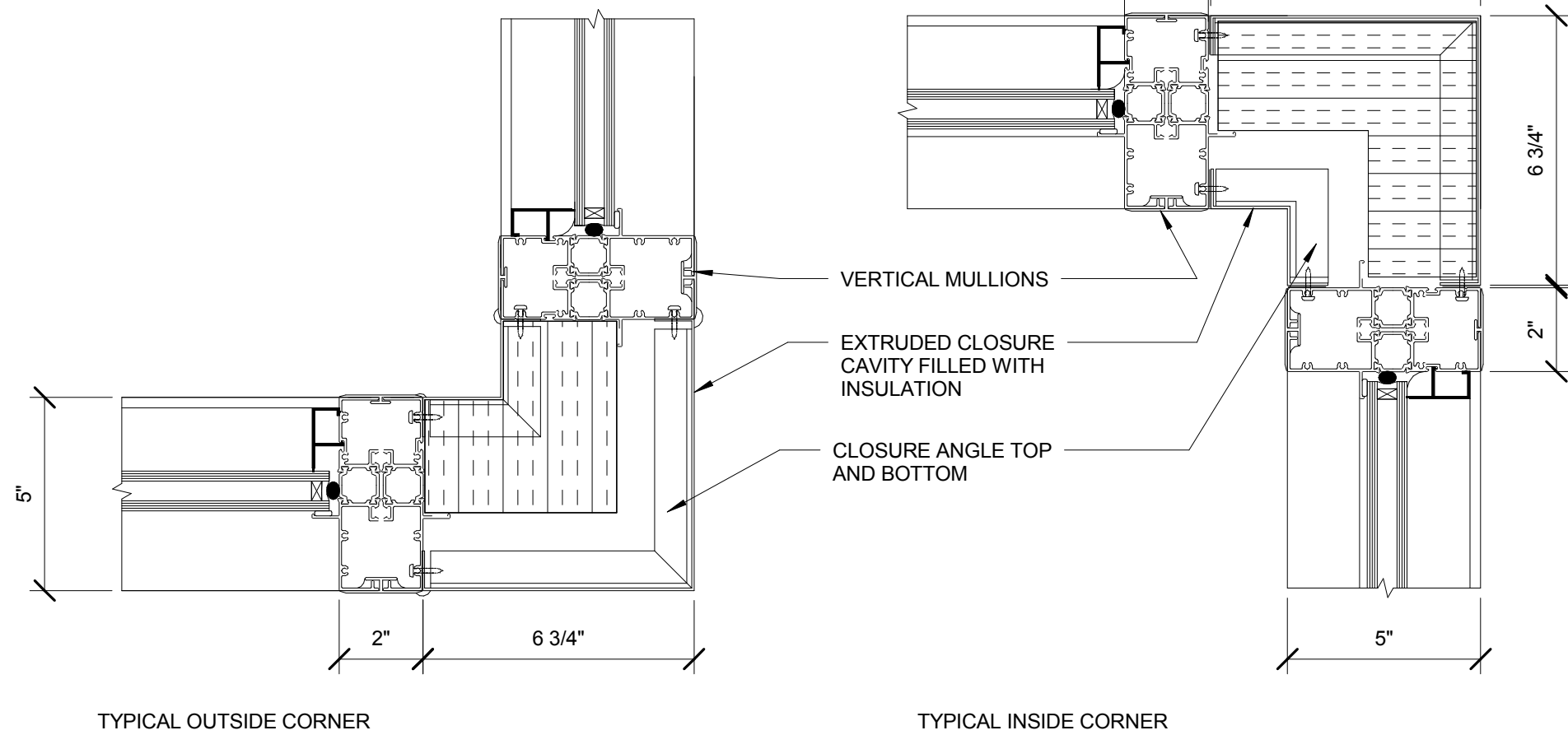




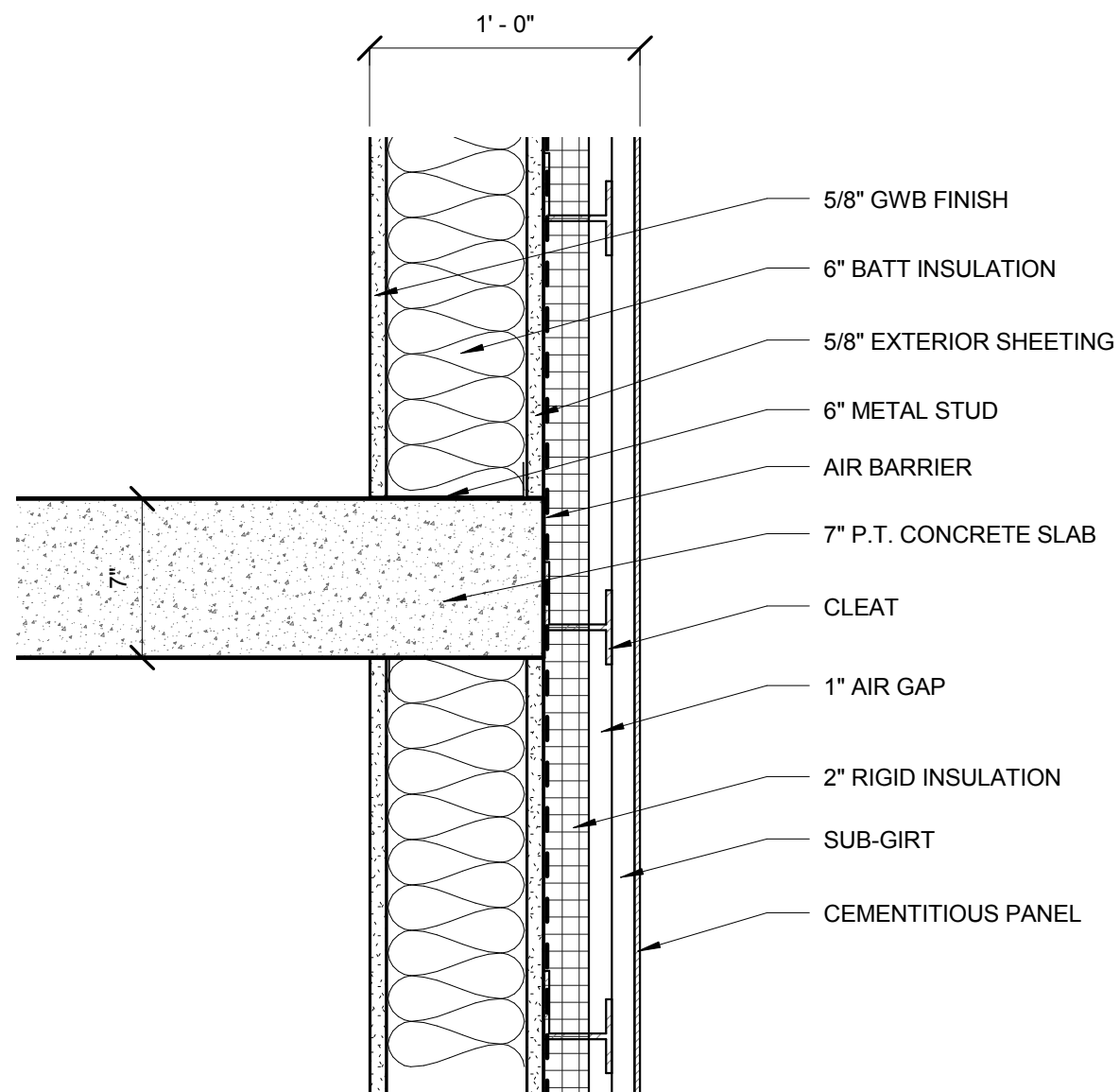




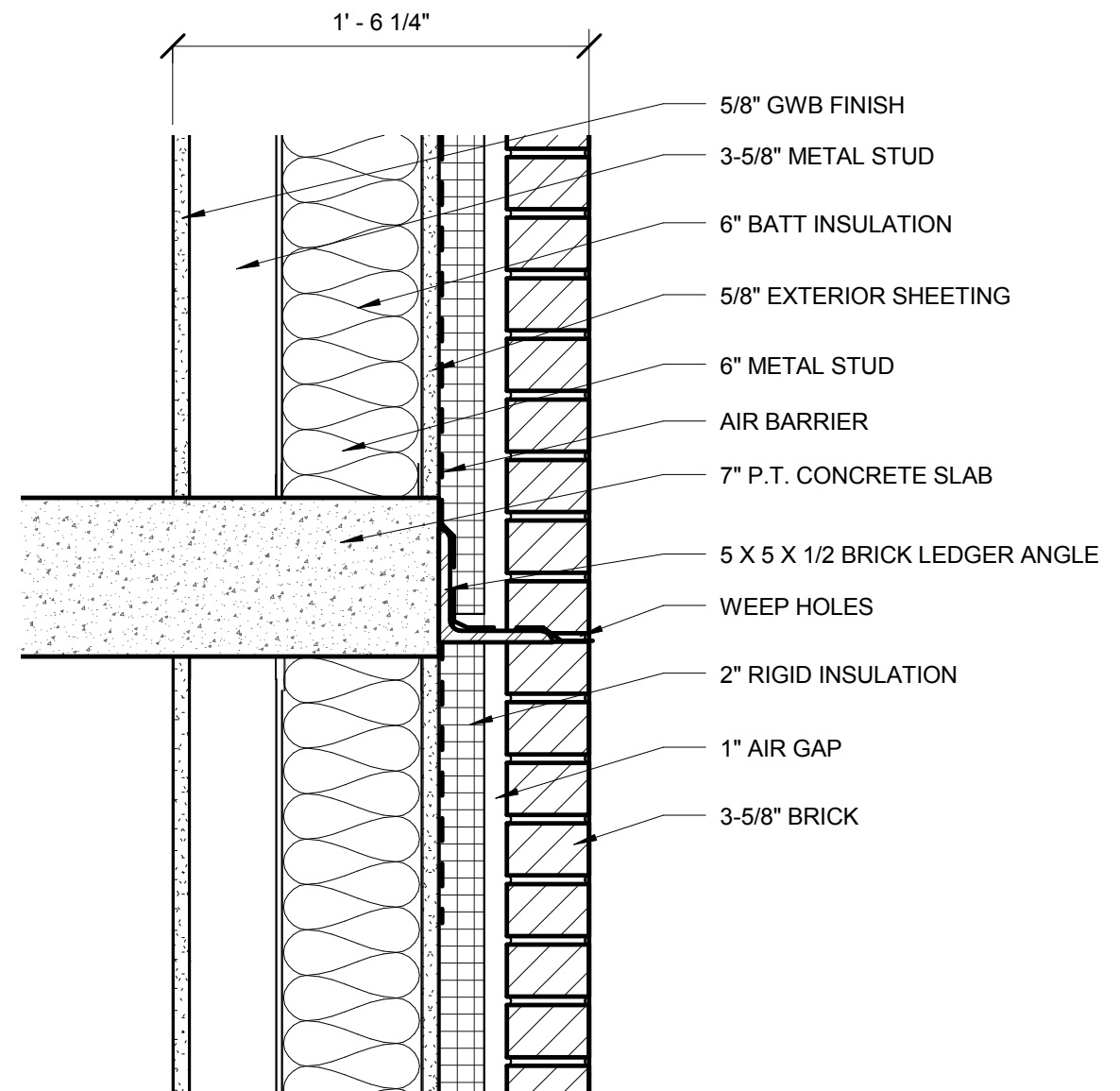
② TYPICAL WINDOW SILL/HEAD AT SLAB  
3" = 1'-0"



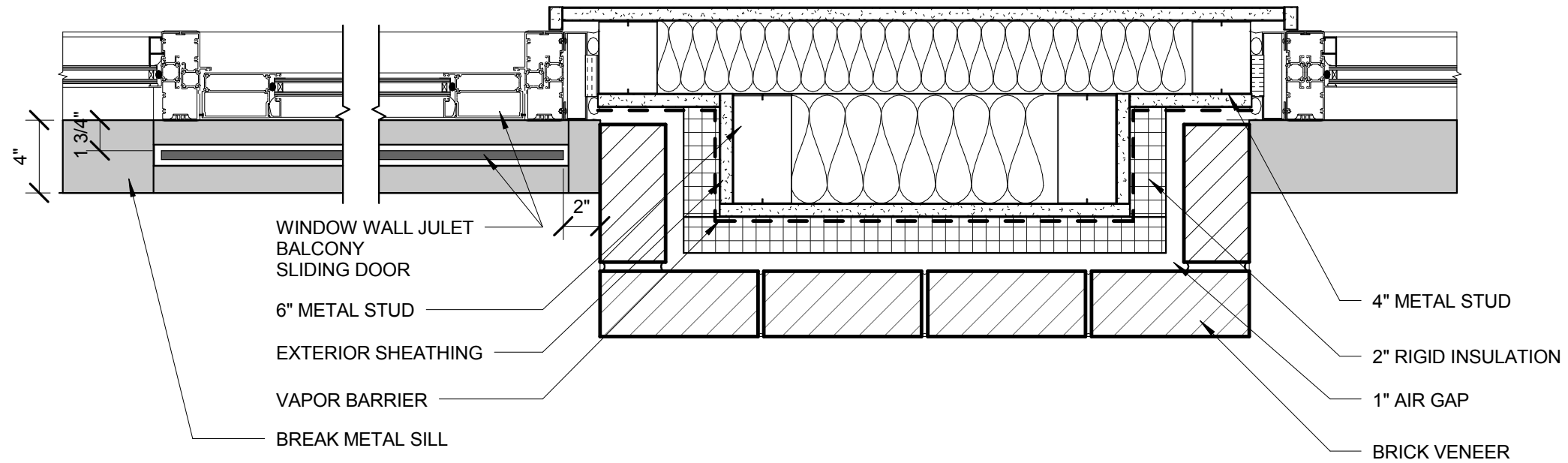
① TYPICAL WINDOW CORNER DETAILS  
3" = 1'-0"



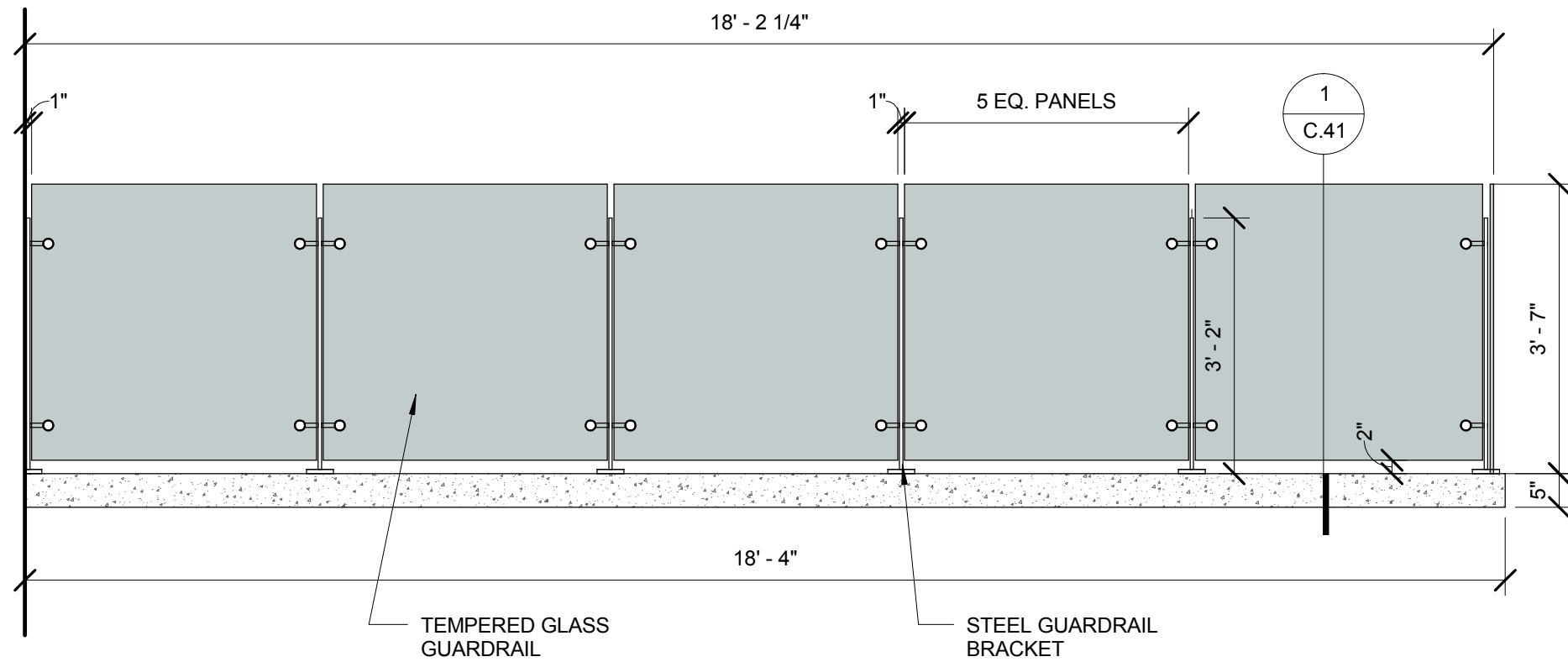
① TYPICAL EXTERIOR WALL SECTION AT CEMENT PANEL  
1 1/2" = 1'-0"



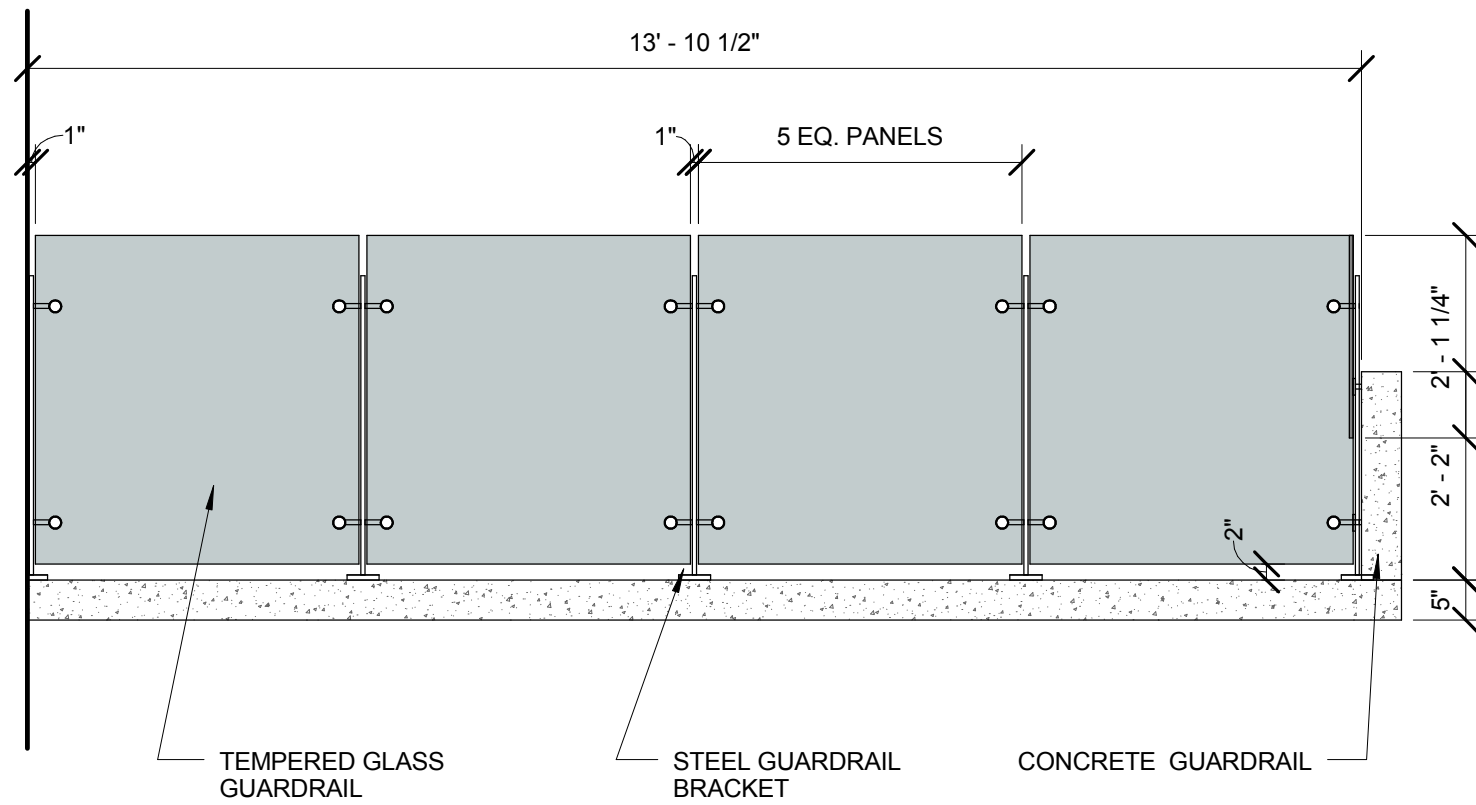
② TYPICAL EXTERIOR WALL SECTION AT BRICK VENEER  
1 1/2" = 1'-0"



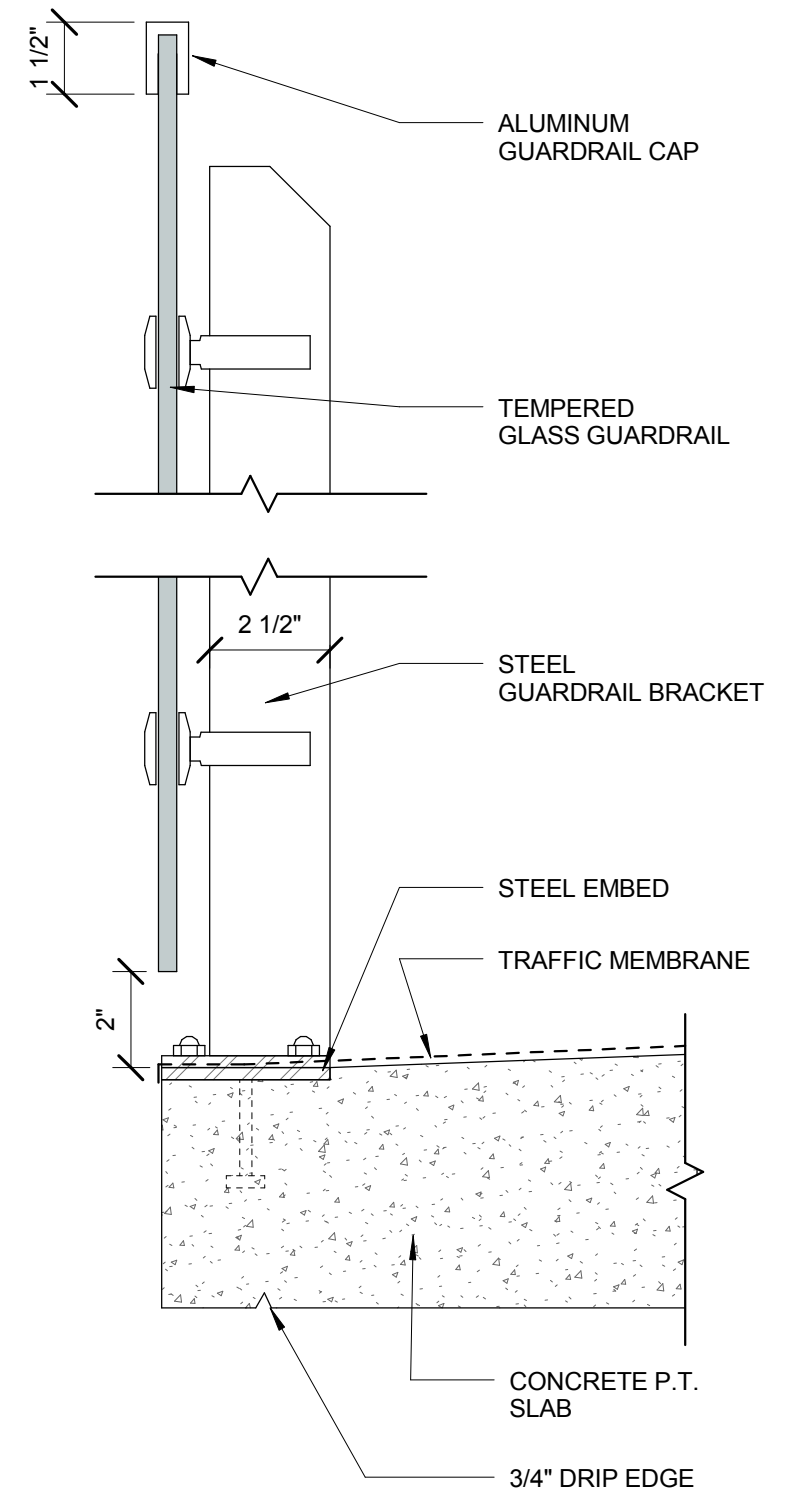
① PLAN OF BRICK PEIR  
 1 1/2" = 1'-0"



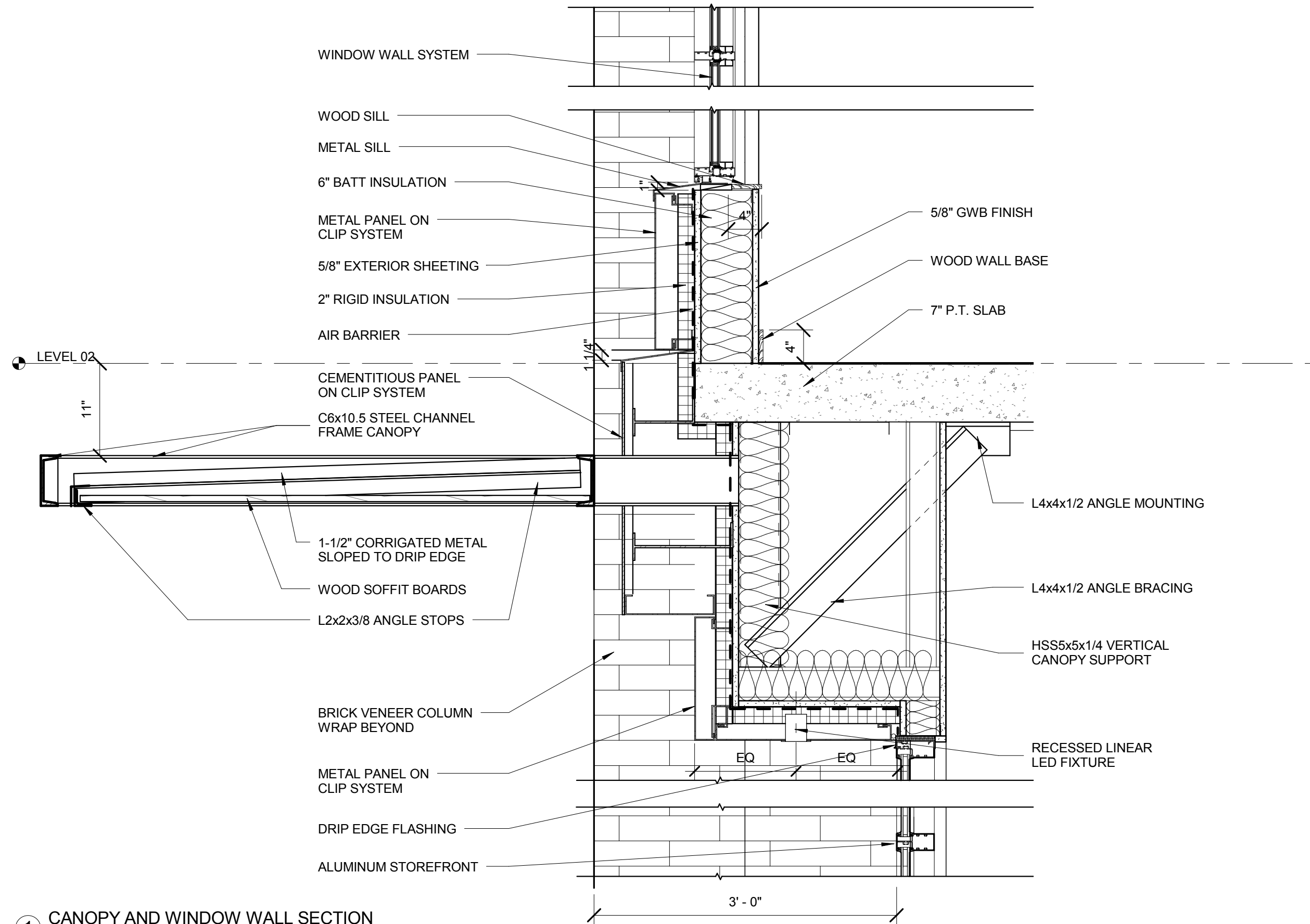
2 BALCONY GUARDRAIL ELEVATION  
1/2" = 1'-0"



3 BALCONY GUARDRAIL ELEVATION 2  
1/2" = 1'-0"

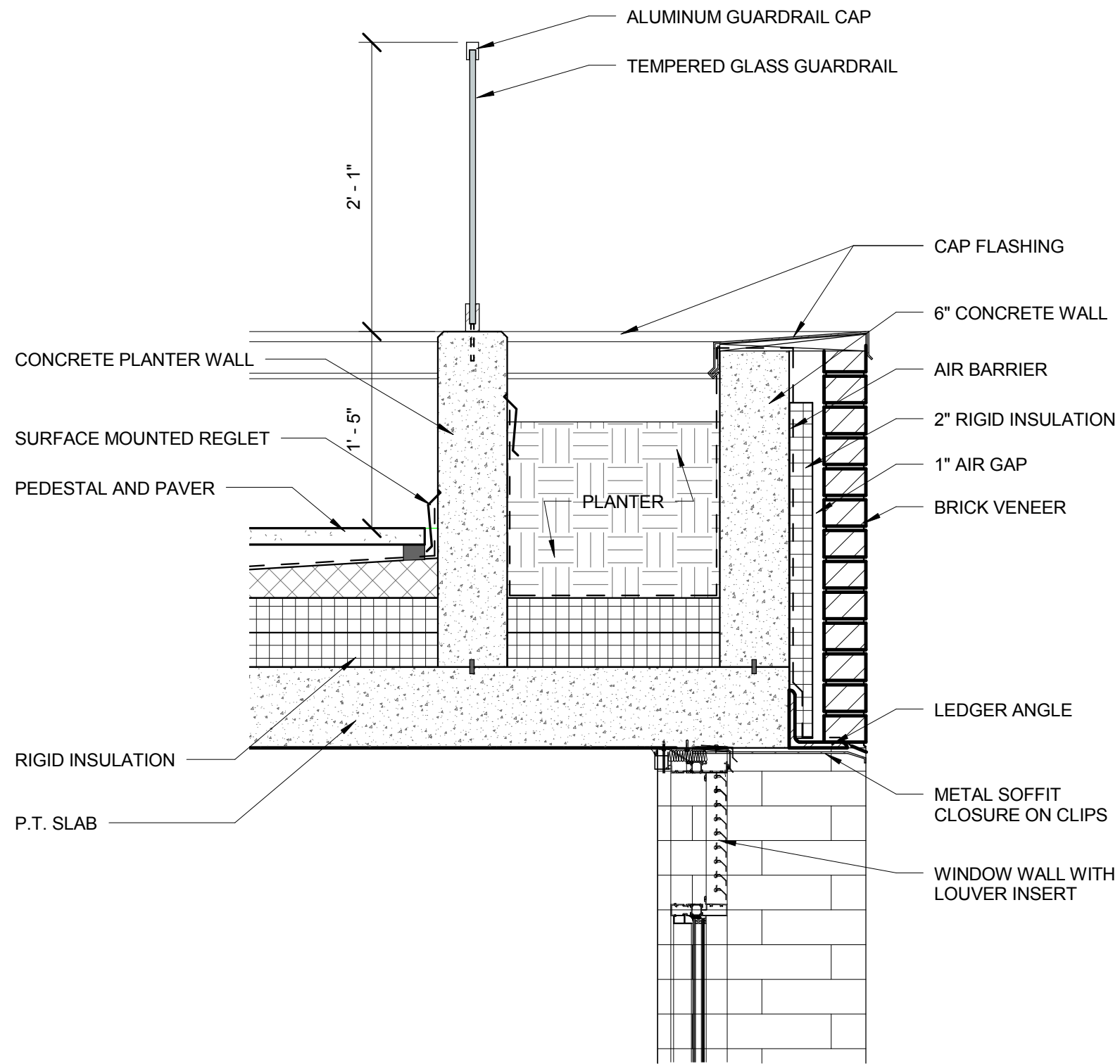


1 BALCONY RAILING SECTION AT PT SLAB  
3" = 1'-0"

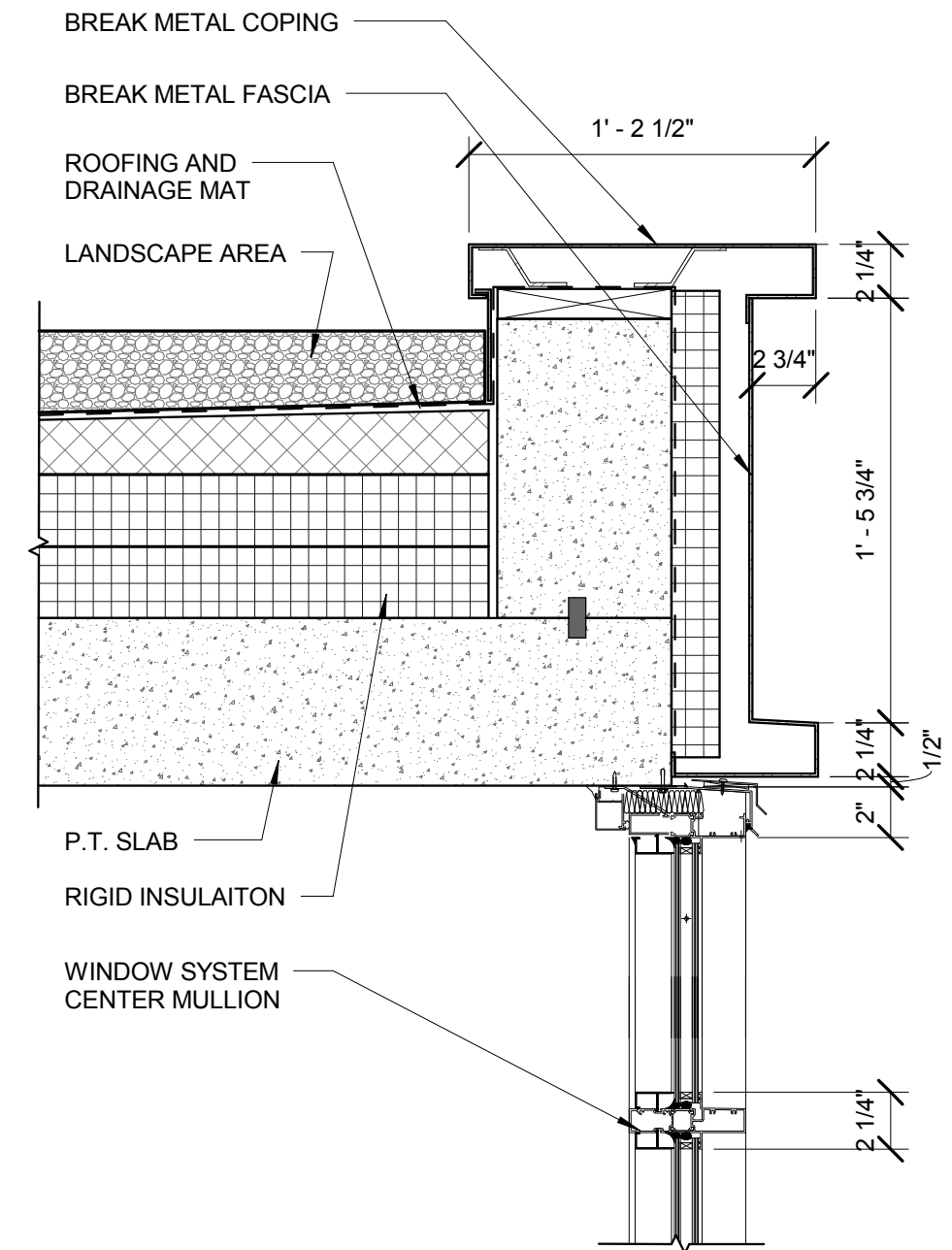


1 CANOPY AND WINDOW WALL SECTION  
 1" = 1'-0"

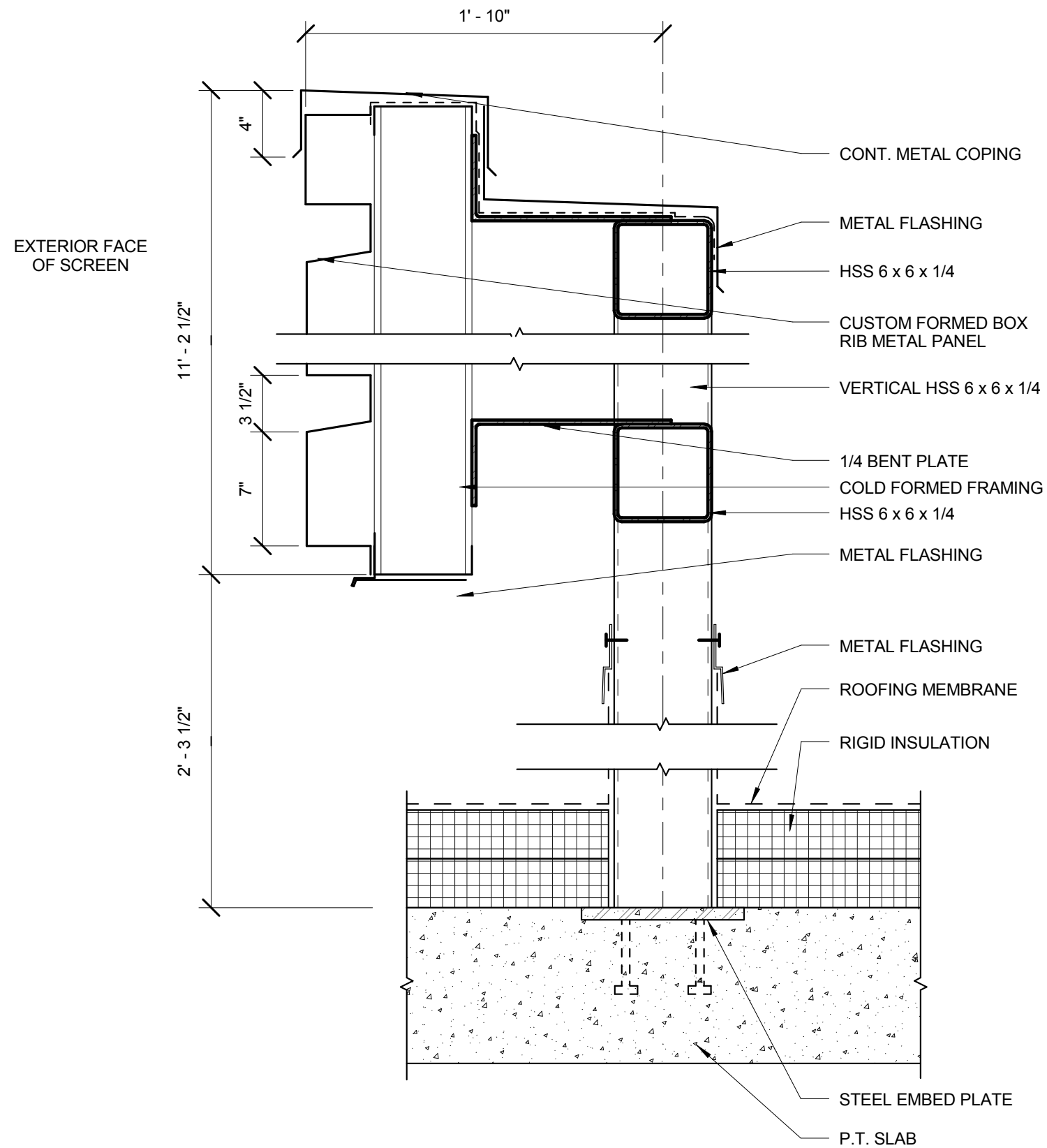




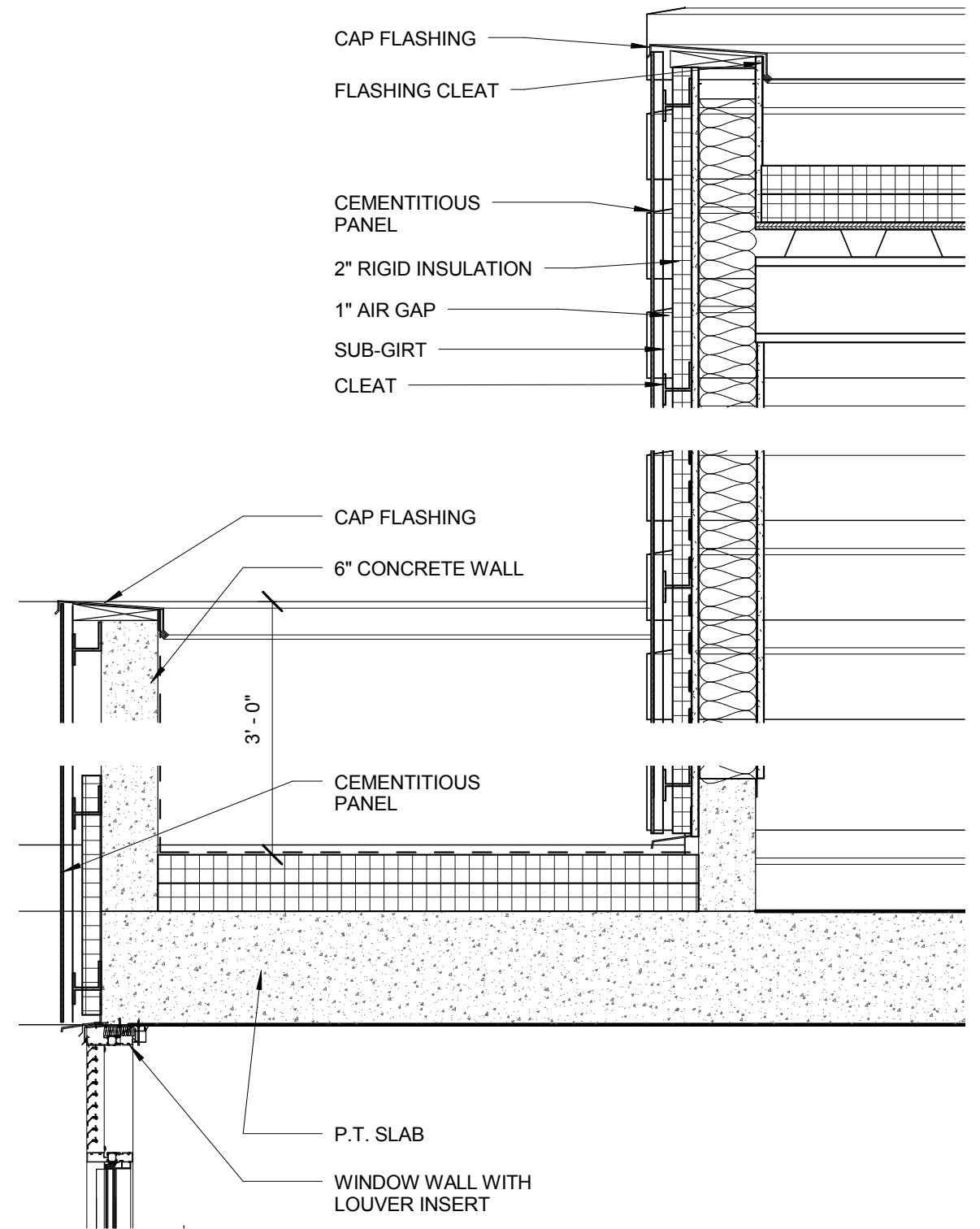
① PARAPET AT PLANTER



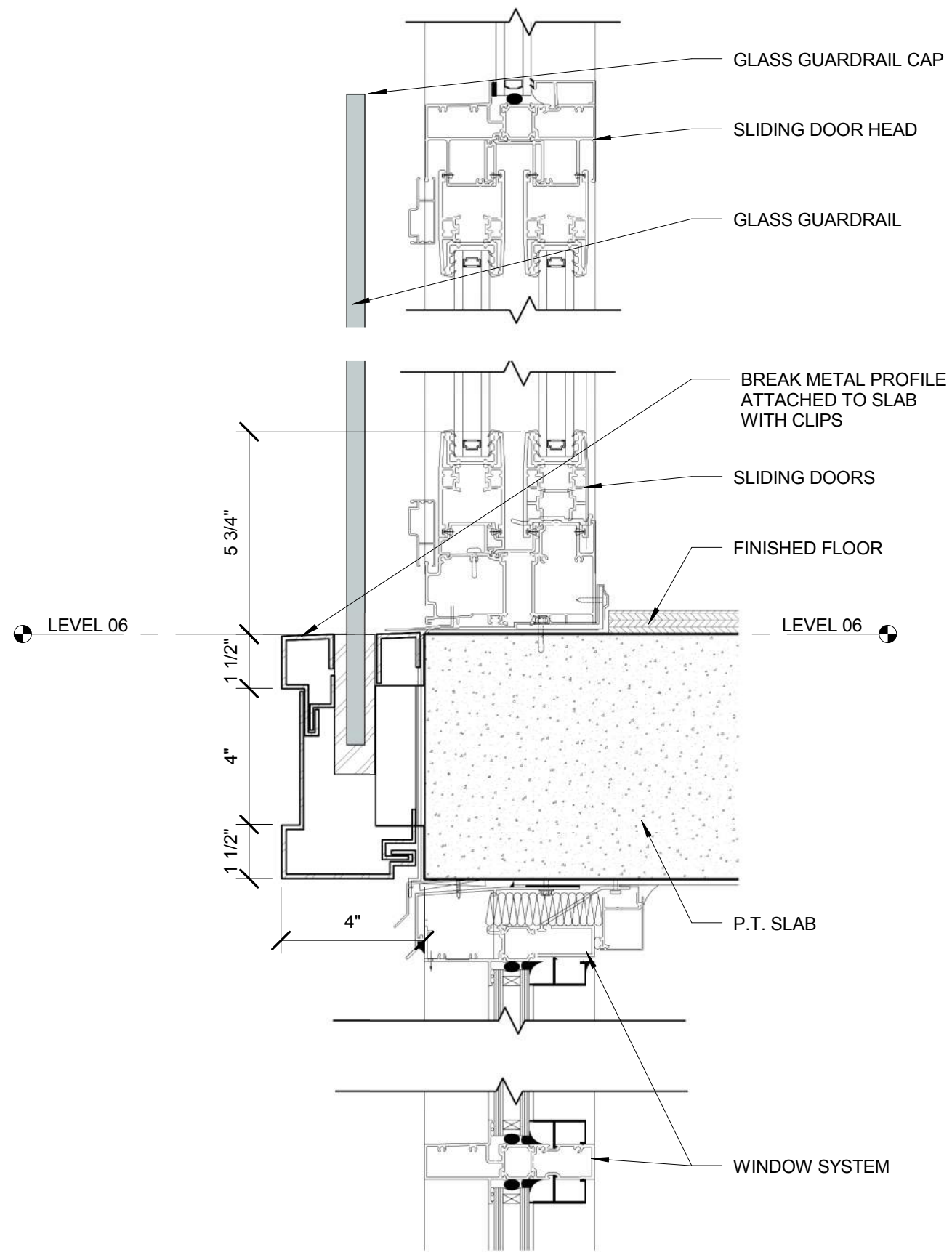
② PARAPET AT GREENROOF



① ROOF TOP MECH SCREEN  
1 1/2" = 1'-0"

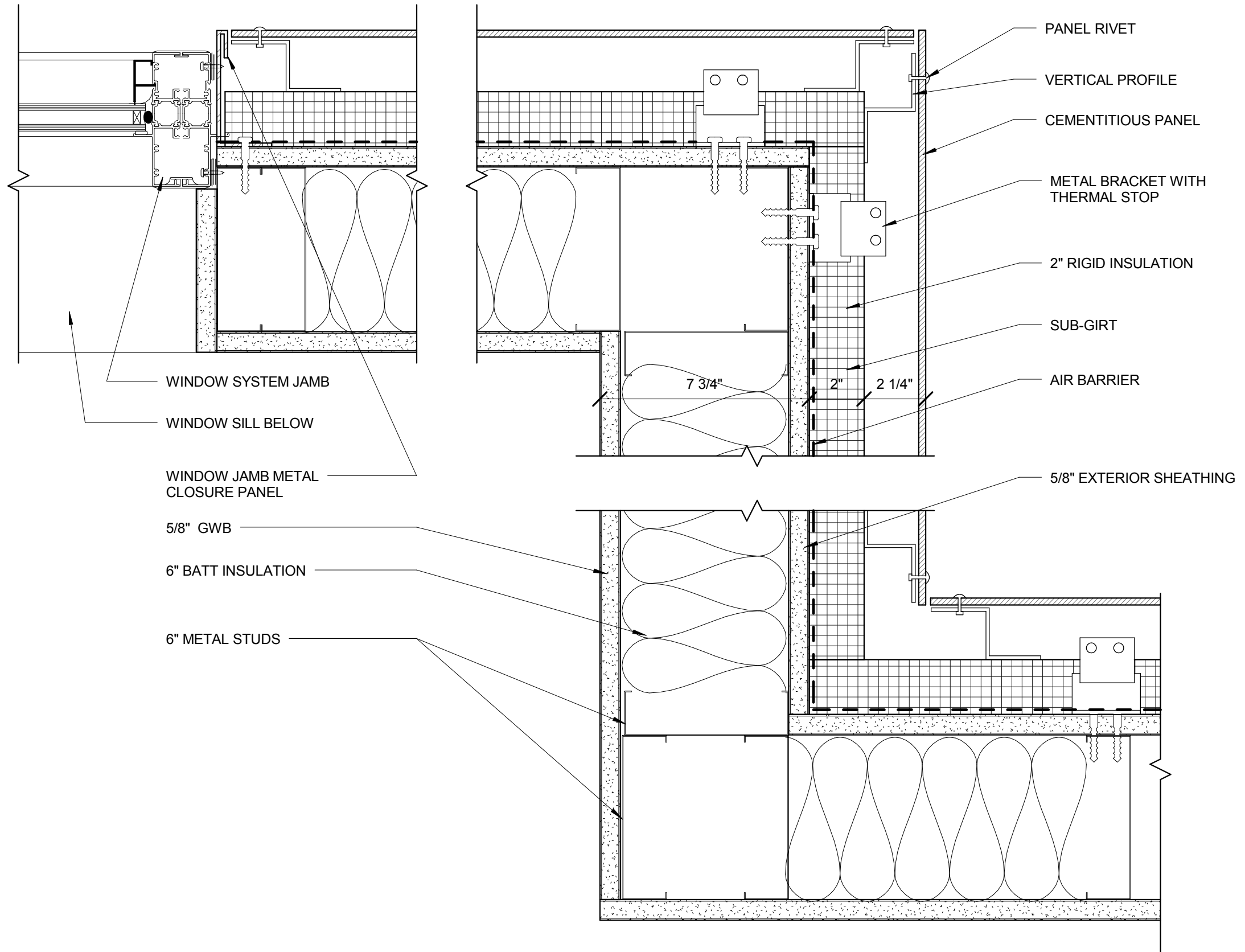


② PARAPET AT ROOF MECHANICAL RM  
3/4" = 1'-0"

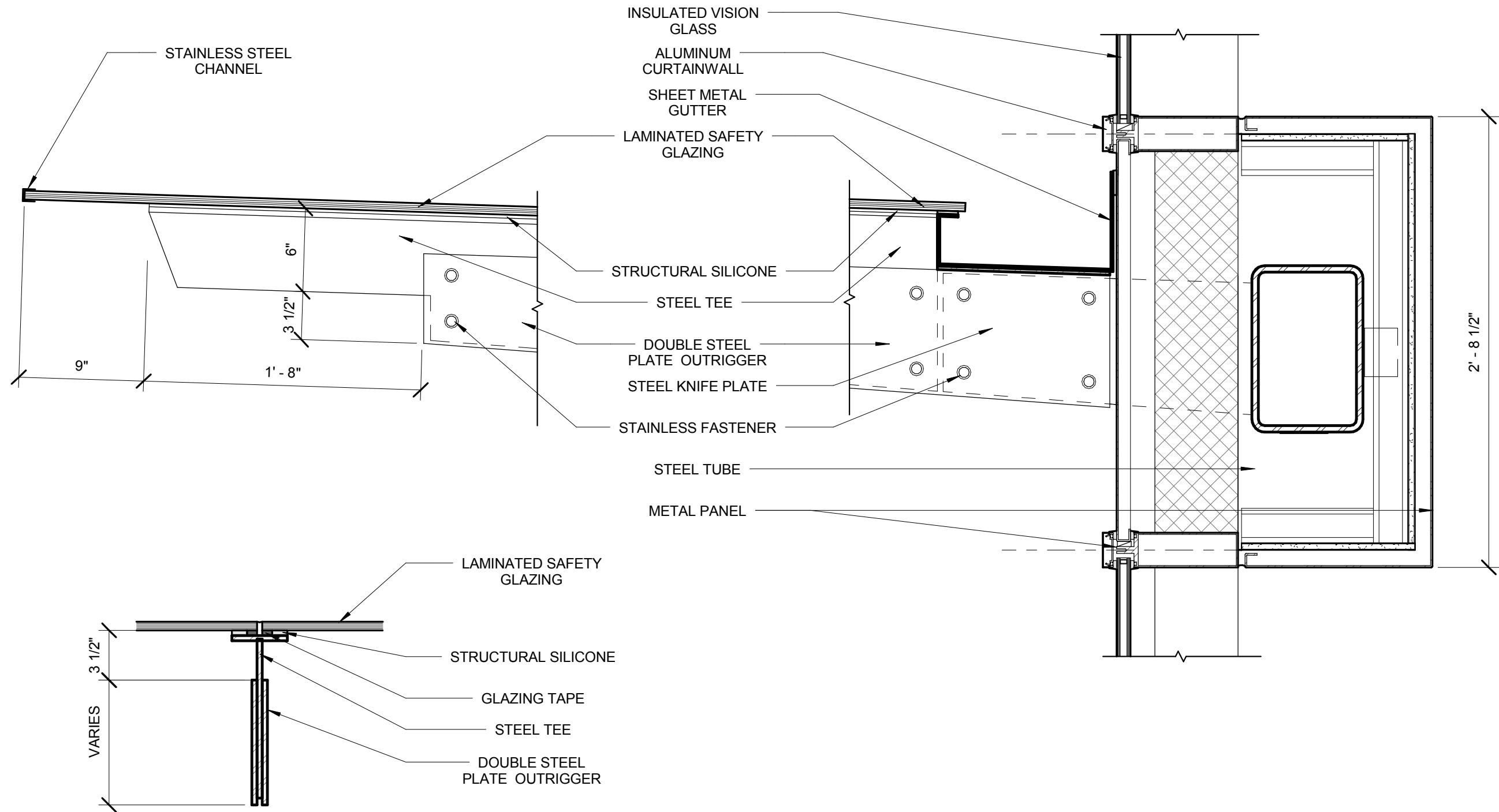


① JULIET BALCONY AND SLIDING DOOR  
3" = 1'-0"

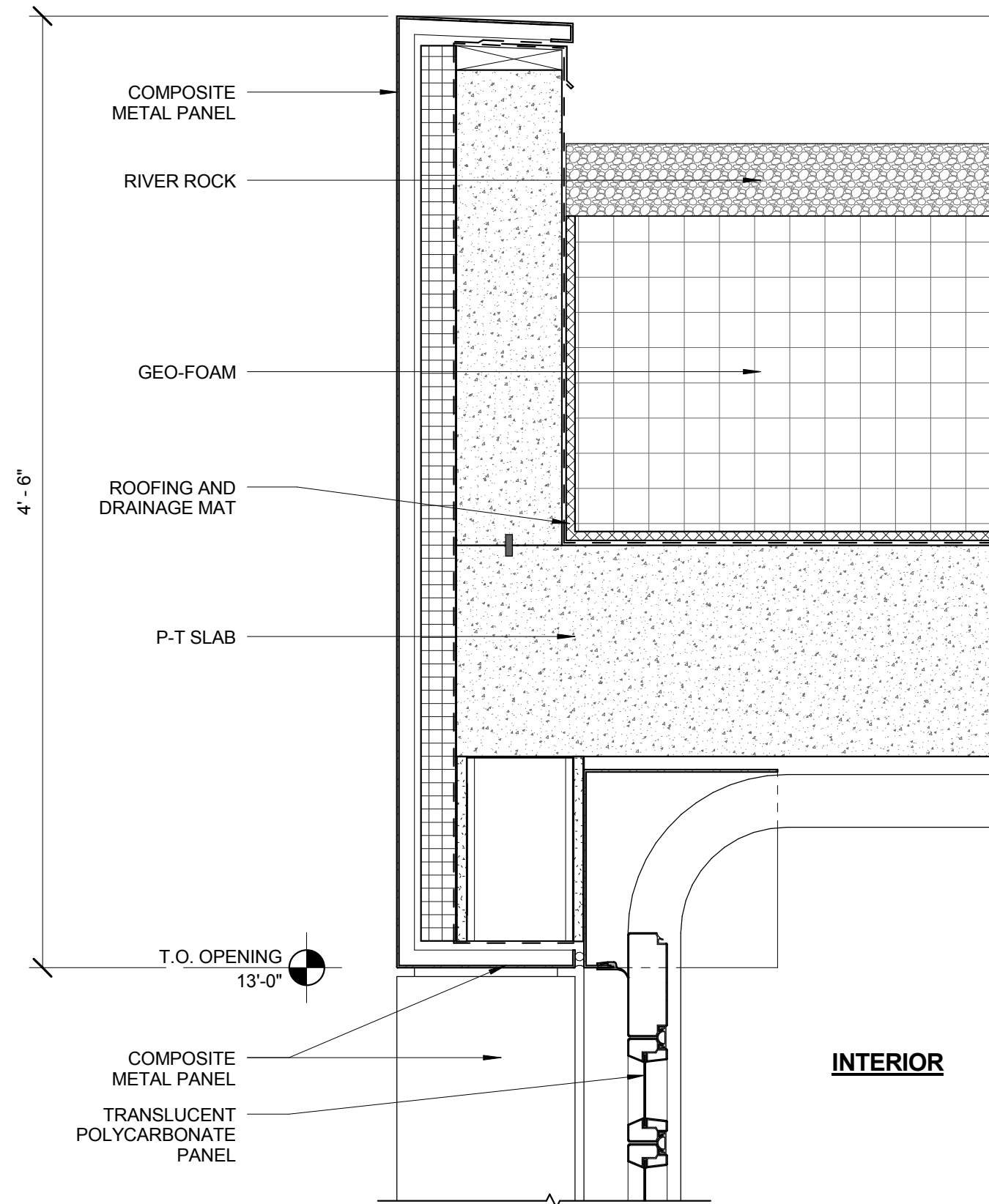




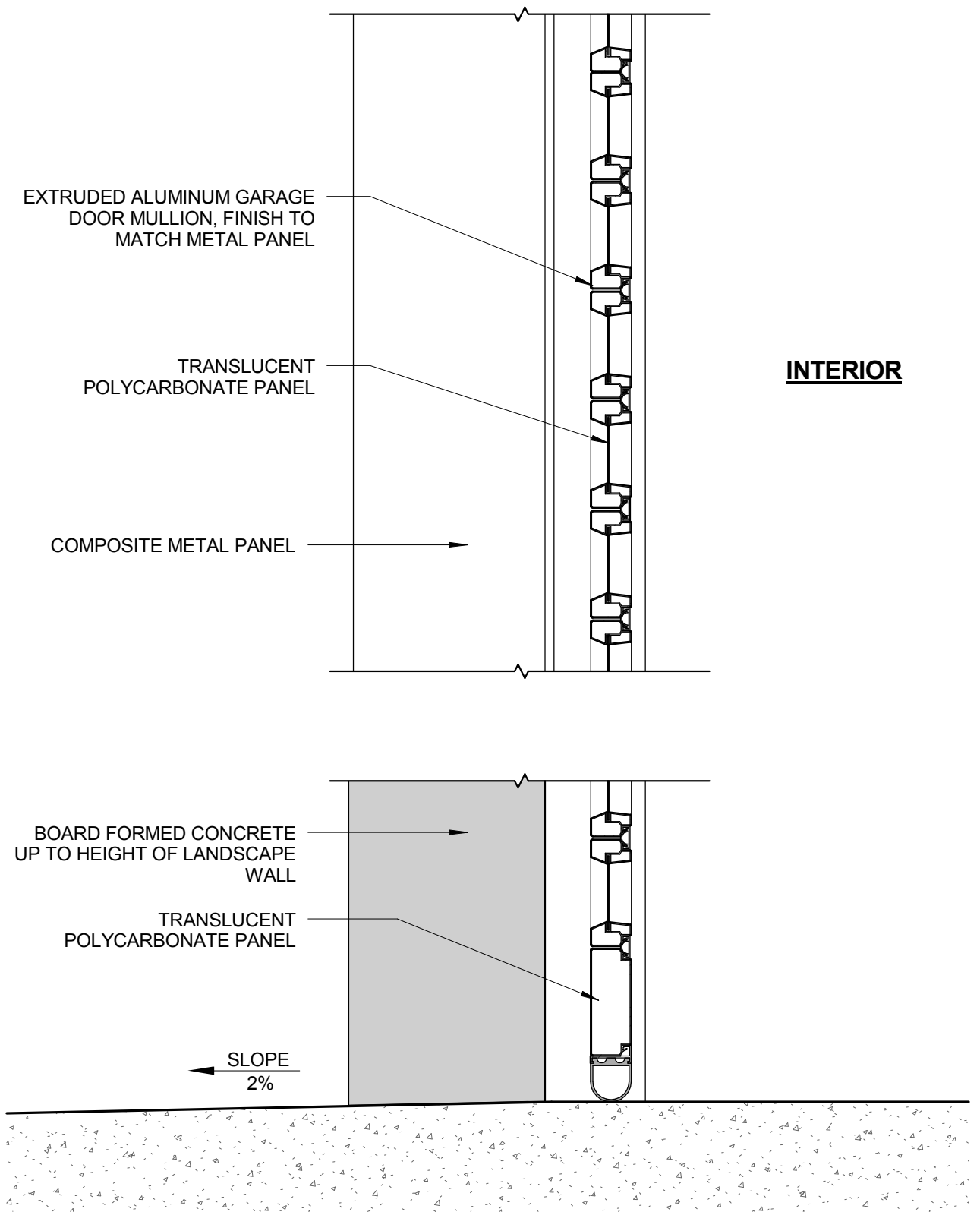
1 PLAN DETAIL AT CEMENTITIOUS PANEL  
 3" = 1'-0"



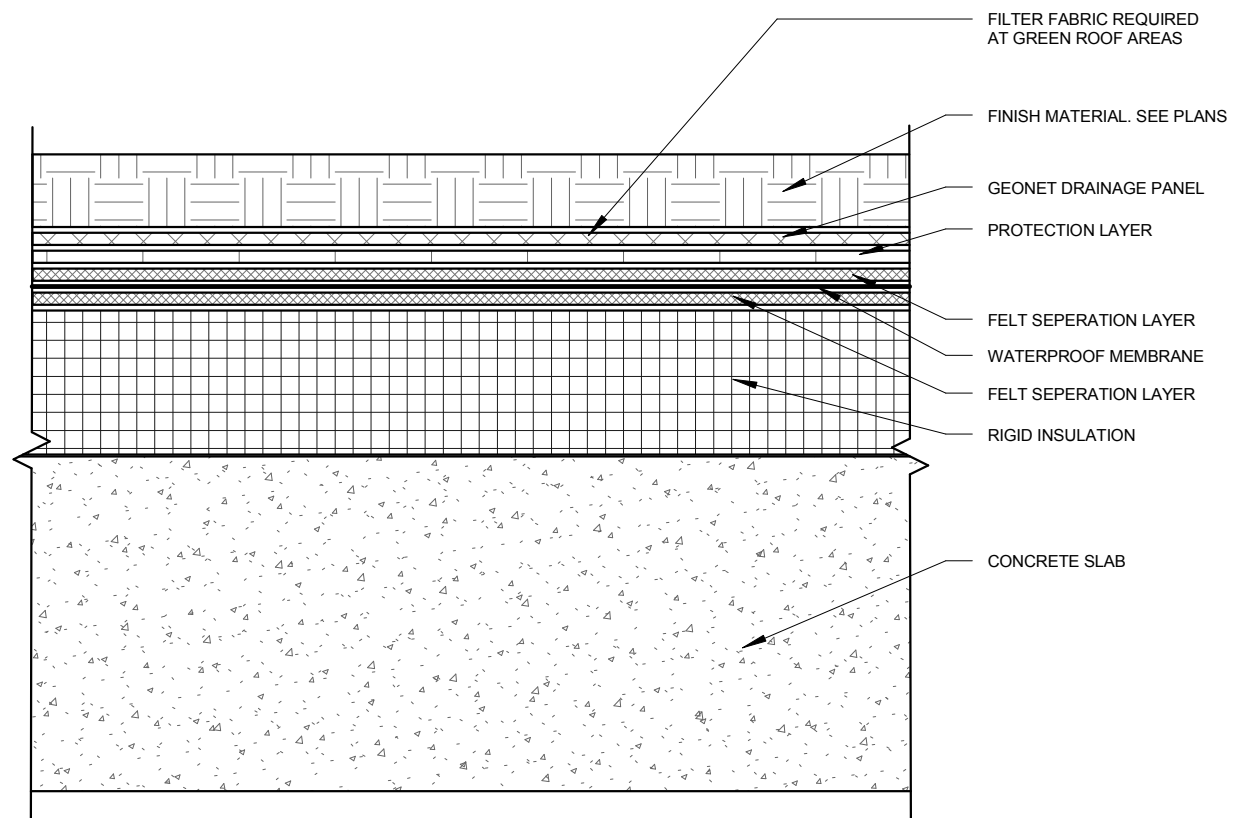
① ENTRY CANOPY  
1 1/2" = 1'-0"



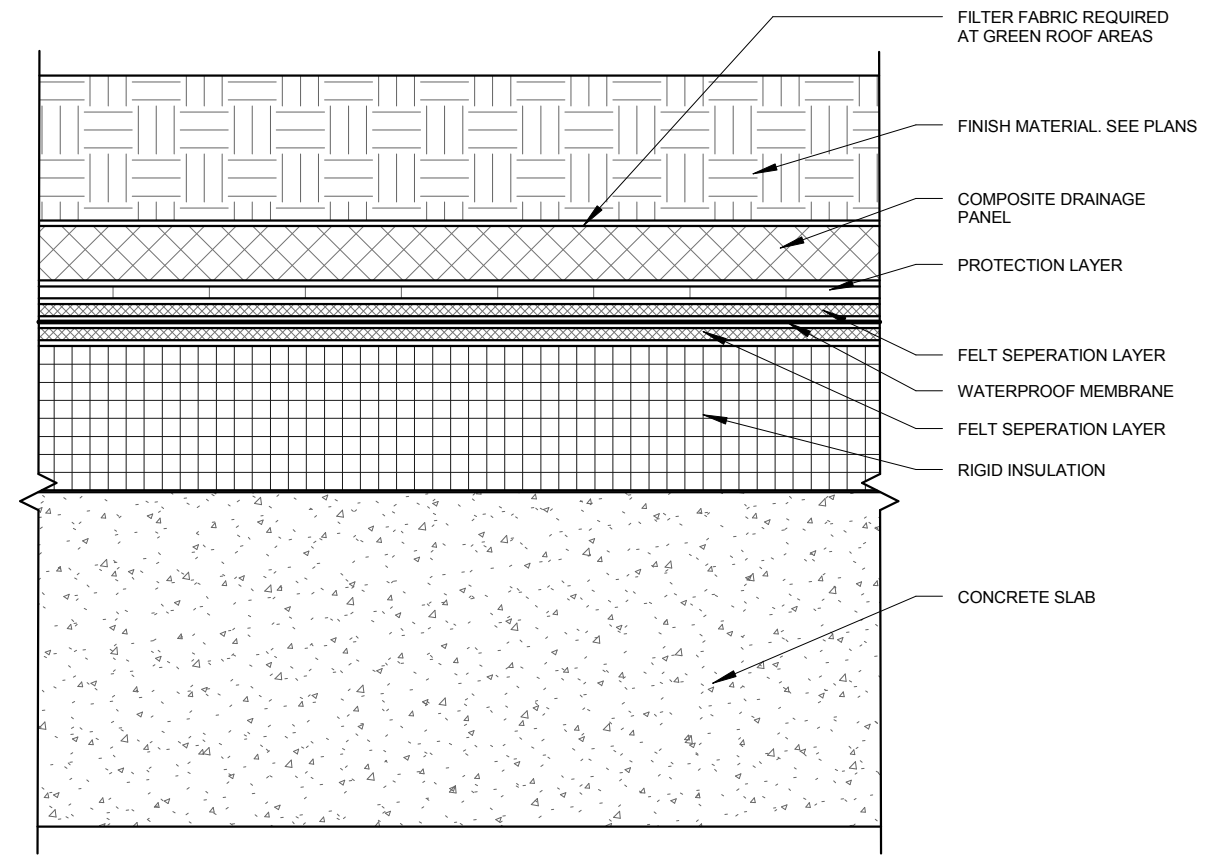
① SECTION OF GARAGE DOOR HEAD  
1 1/2" = 1'-0"



② SECTION OF GARAGE DOOR  
1 1/2" = 1'-0"



1 EXTENSIVE ROOF ASSEMBLY DETAIL  
3" = 1'-0"



2 INTENSIVE ROOF ASSEMBLY DETAIL  
3" = 1'-0"

FIBER CEMENT PANEL



IRONSPOT ARTISAN BRICK

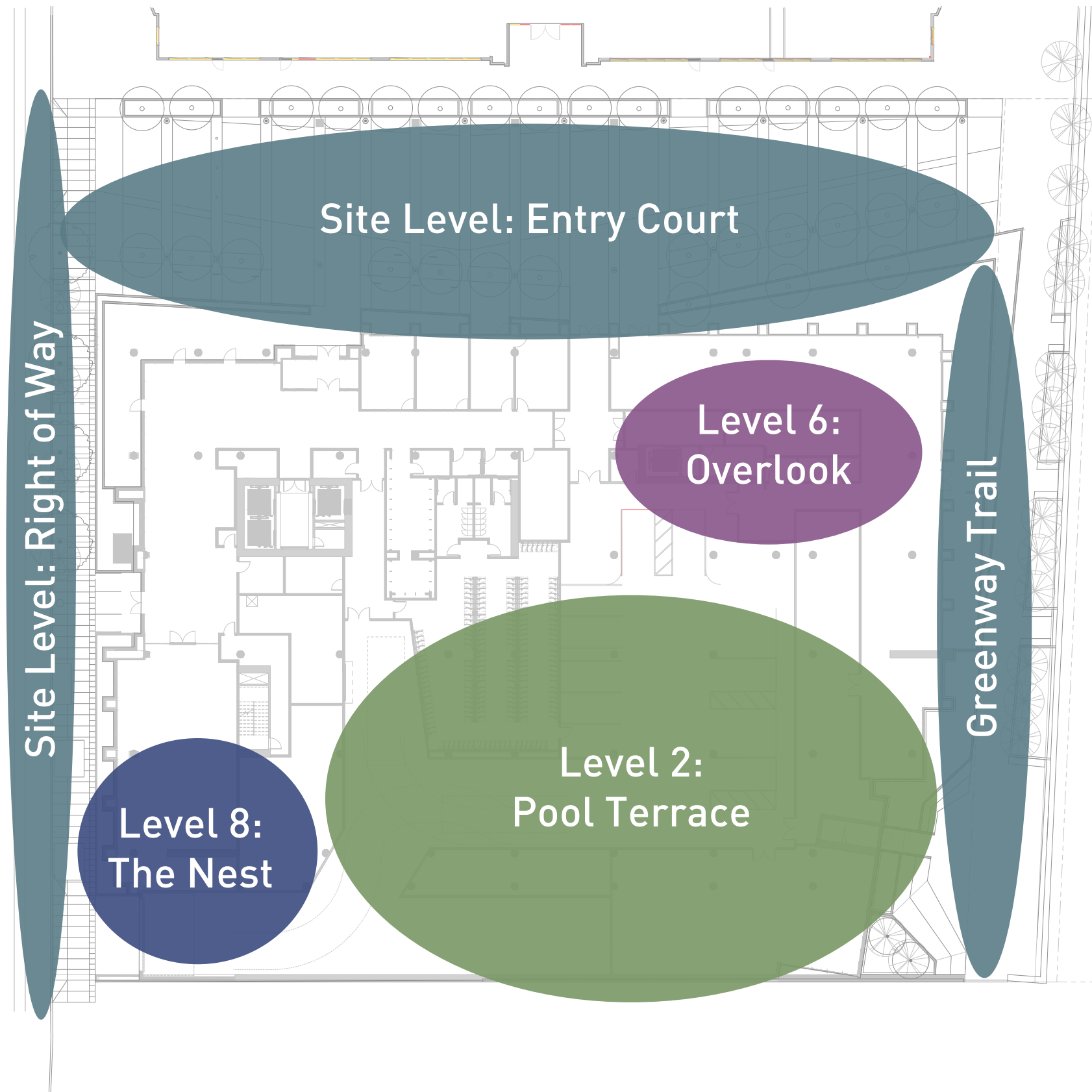


WINDOW WALL



BOX RIBBED METAL PANEL





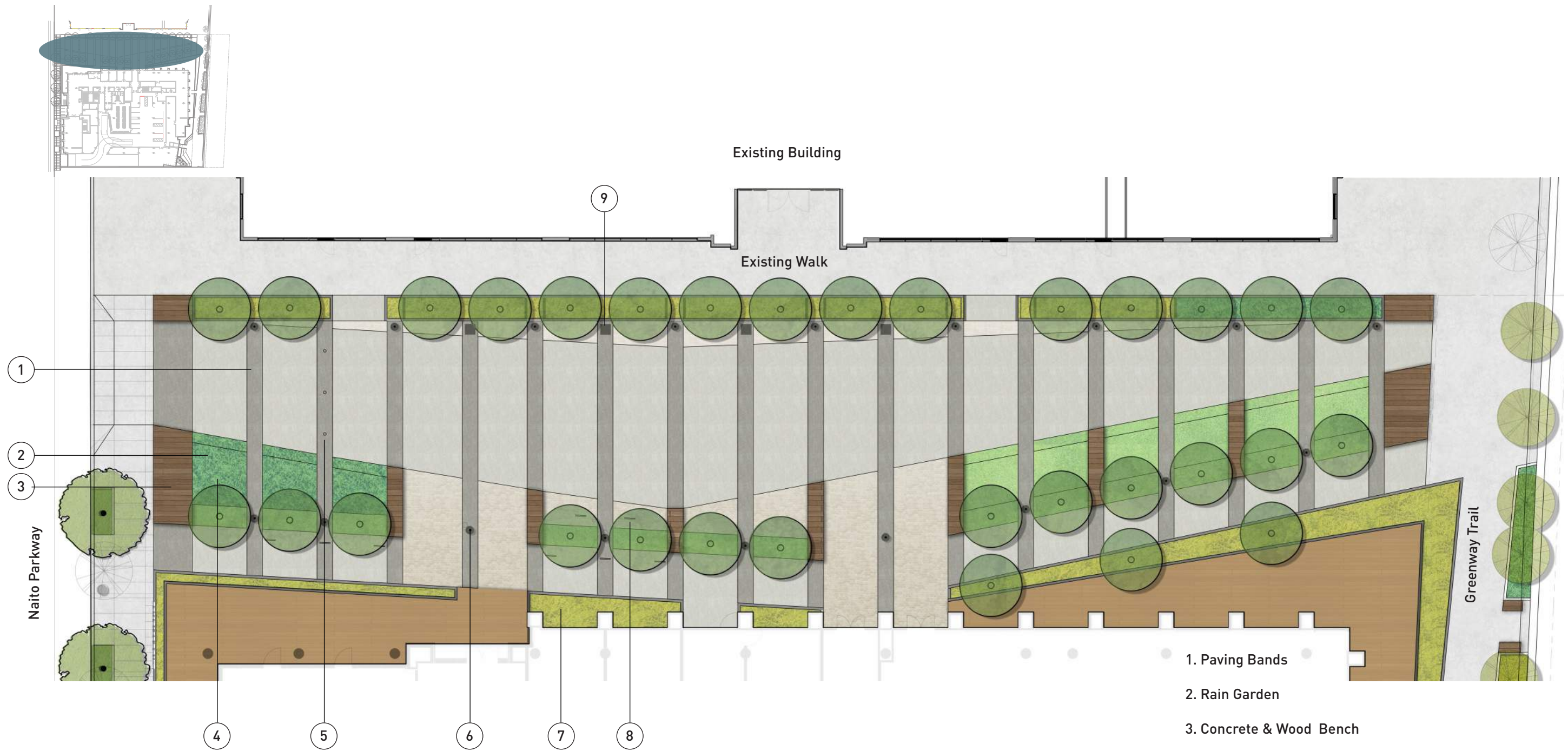
## ZONE DIAGRAM





- 1. Entry Court
- 2. Restaurant Deck
- 3. Level 2 Access
- 4. Rain Garden
- 5. Lobby Deck
- 6. Streetscape
- 7. Garage Entry

# SITE LEVEL - Landscape Plan

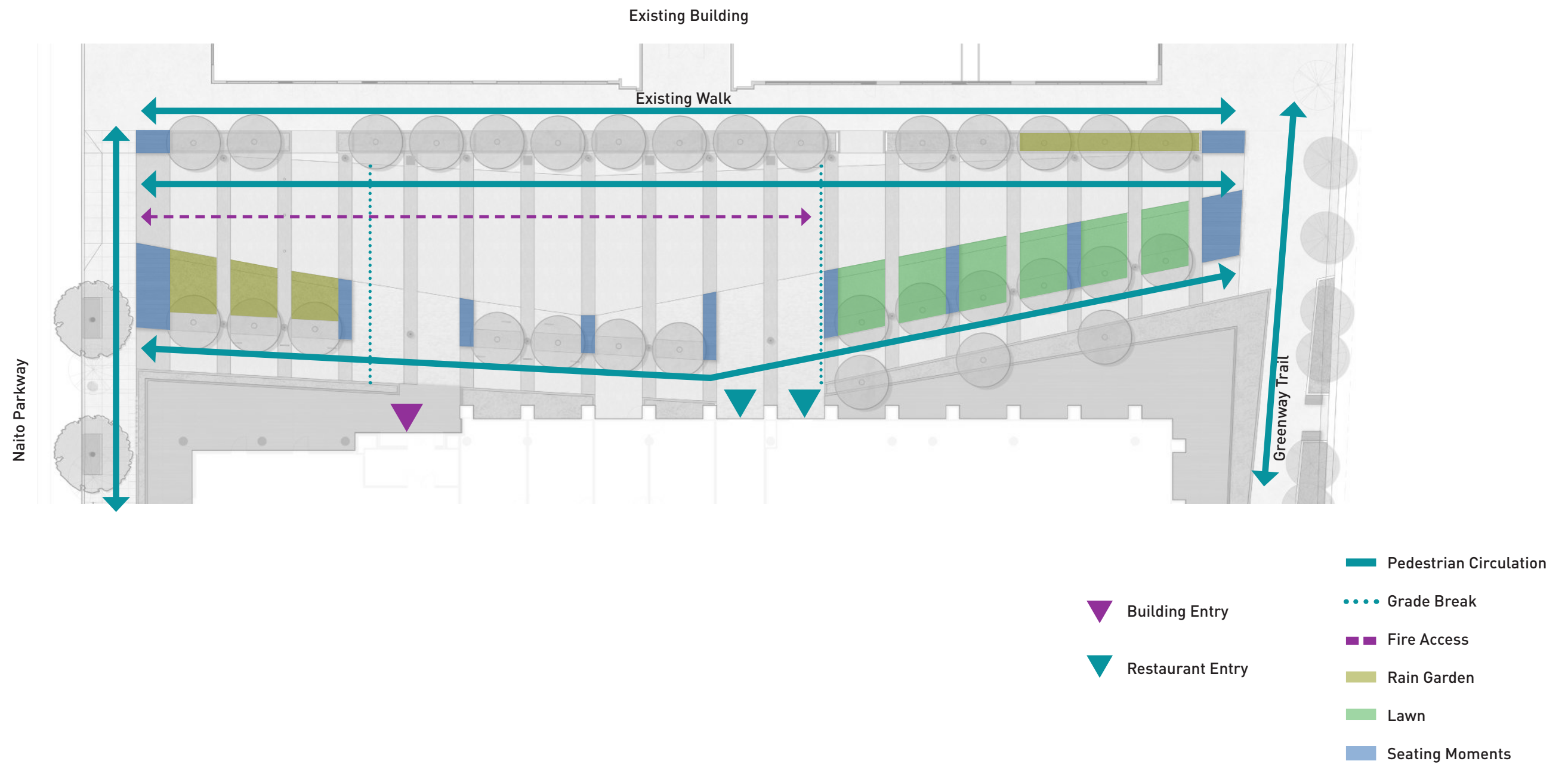
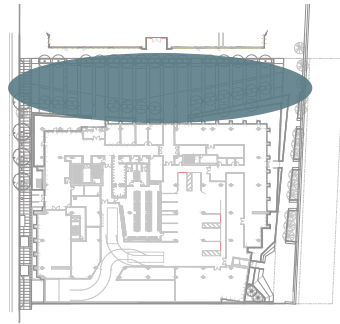


- 1. Paving Bands
- 2. Rain Garden
- 3. Concrete & Wood Bench
- 4. Eco Roof
- 5. Removable Bollards
- 6. Pole Light
- 7. Raised Planter
- 8. Bicycle Rack
- 9. Utility Stations

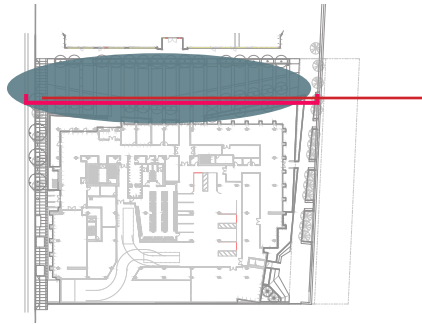
# ENTRY COURT - Landscape Plan

1" = 20' - 0"





# ENTRY COURT - Site Diagram



Seating and Rain Garden

54'

Seating, Lighting and Planting Beyond

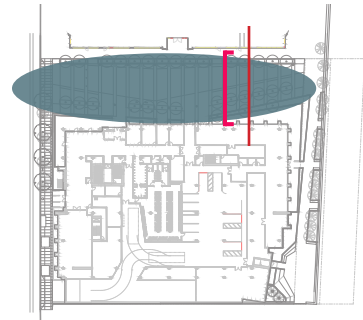
105'

Seating, Lawn Panels and Raised Planter at Restaurant

90'

# ENTRY COURT -Section Looking North

1/16" = 1' - 0"



Existing Walk    Rain Garden 5'    Pedestrian Walk 25'    Seating & Lawn Panels 15'    Pedestrian Walk 9'    Raised Planter & Restaurant Deck Varies

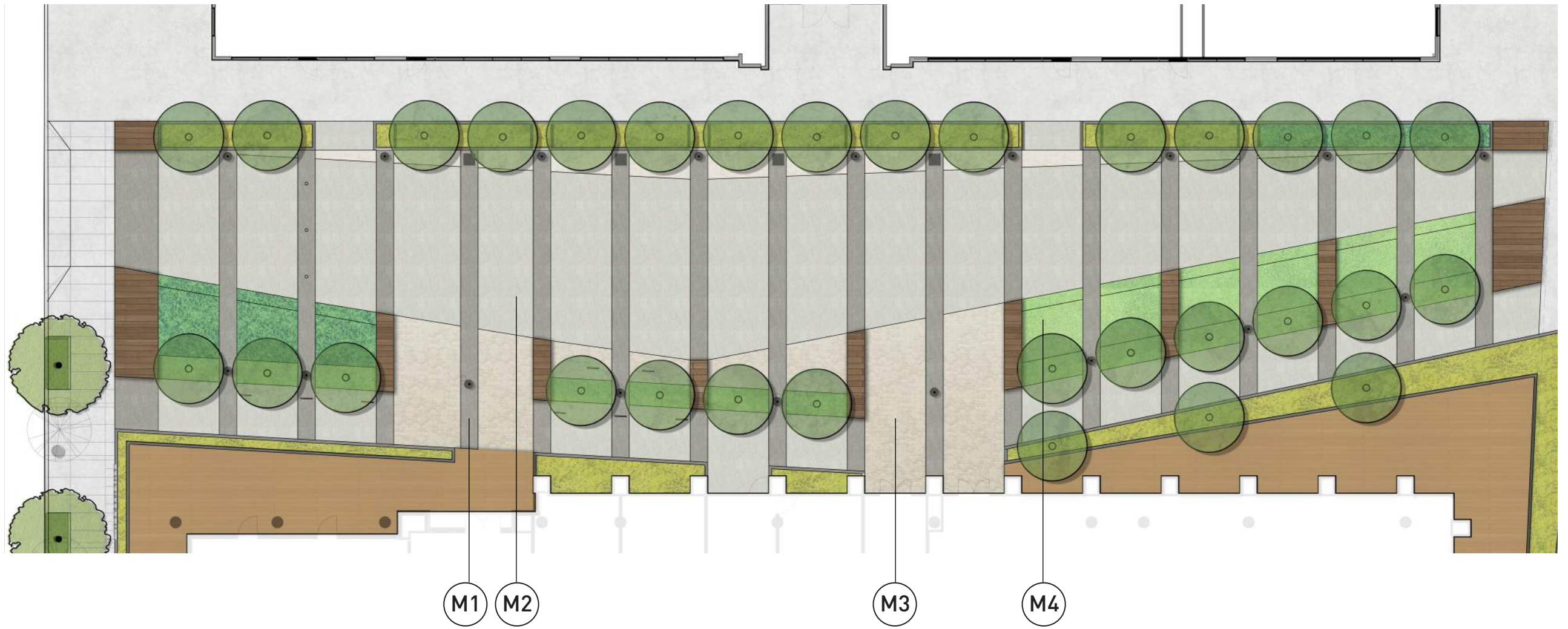
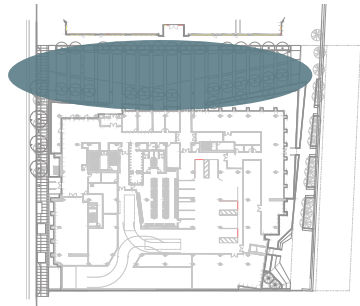
# ENTRY COURT -Section Looking East

C.68

1/8" = 1' - 0"



## ENTRY COURT - Precedents



M1. CONCRETE PAVERS  
- DARK GREY



M2. CONCRETE PAVERS  
- LIGHT GREY



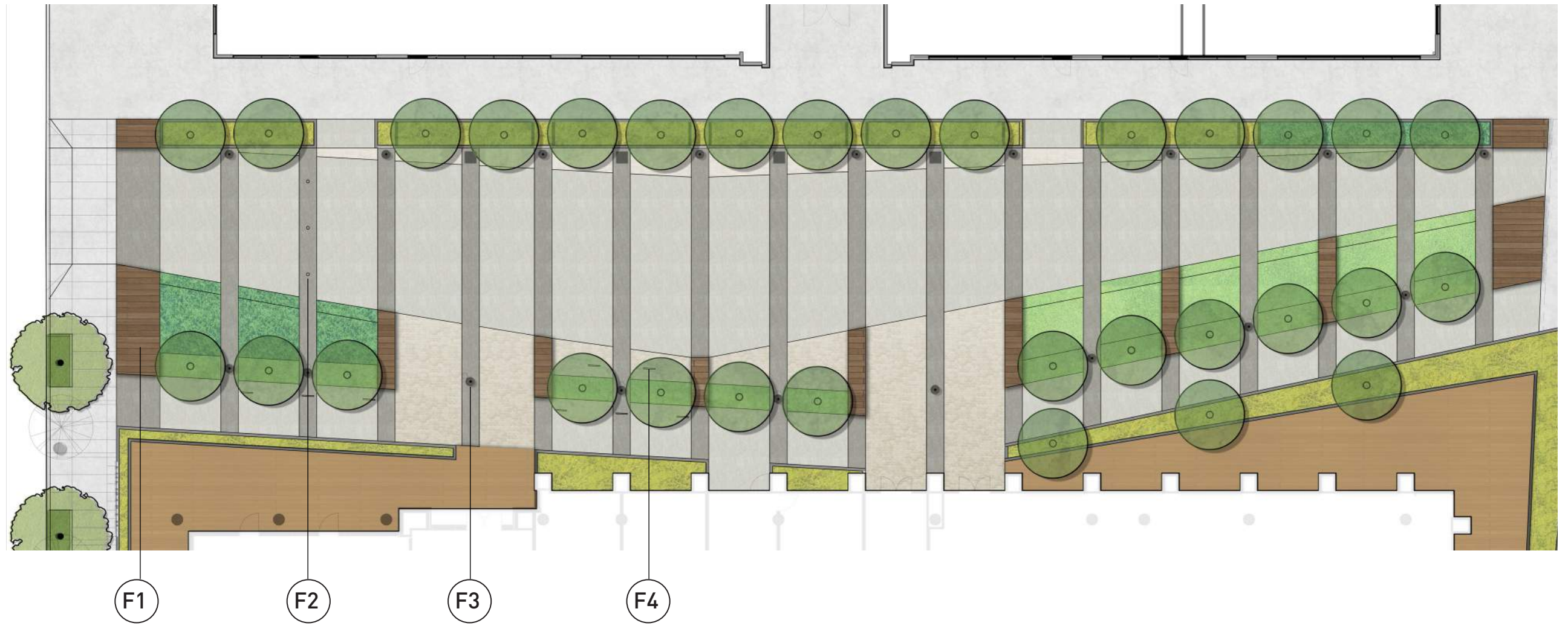
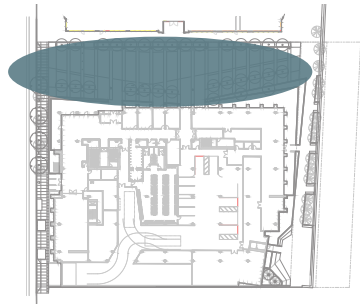
M3. 4X4 COBBLESTONE



M4. LAWN PANEL

# ENTRY COURT - Materials

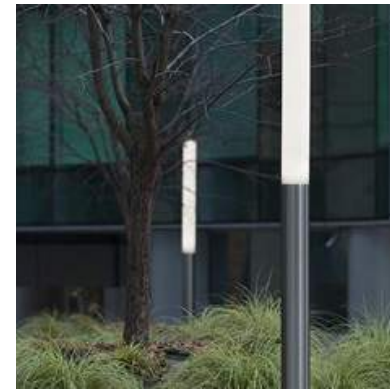
C.70



F1. CONCRETE & WOOD SEATING



F2. REMOVABLE BOLLARDS



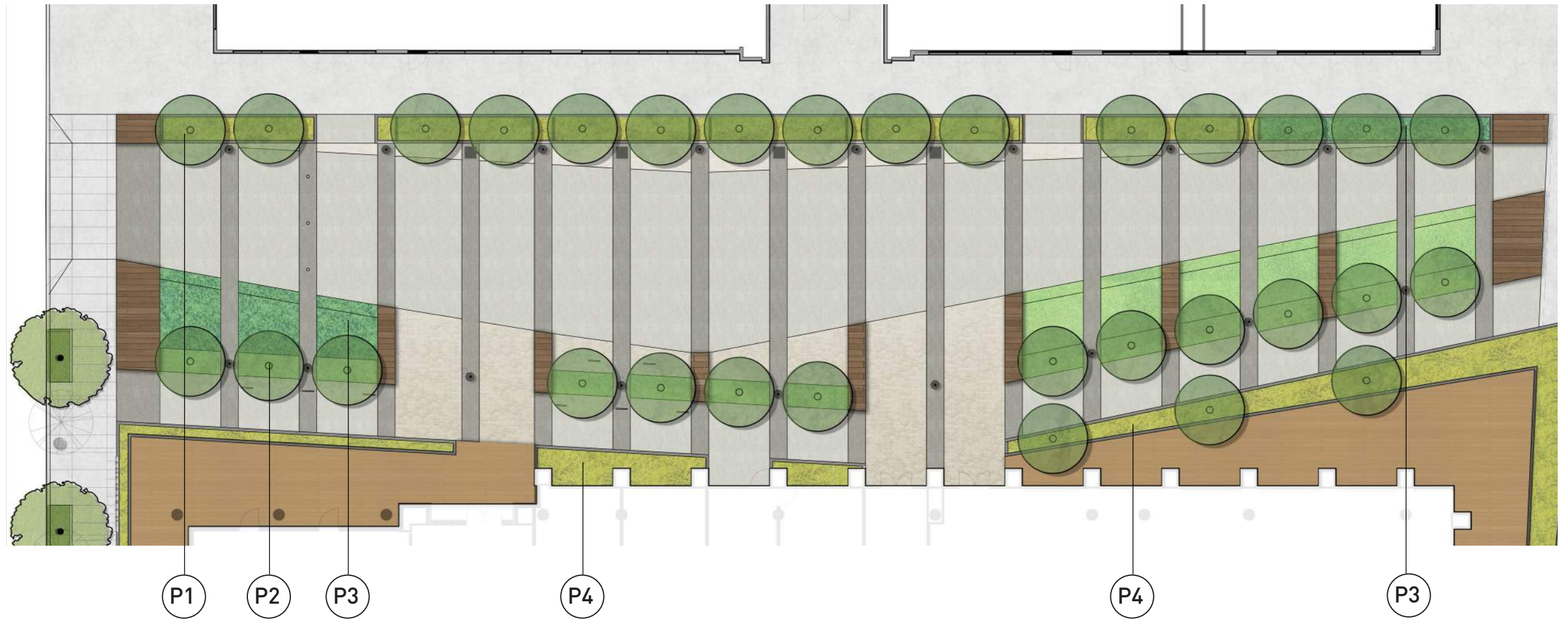
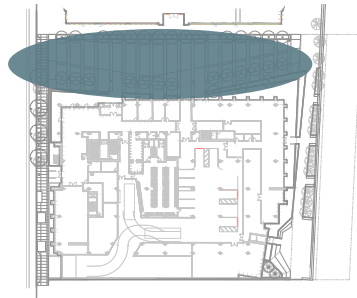
F3. PEDESTRIAN LIGHTING  
- SEE ELECTRICAL



F4. BICYCLE RACK

# ENTRY COURT - Furnishings





P1. STORMWATER TREE  
- CASCARA



P2. ENTRY COURT TREE  
- SILVER LINDEN



P3. STORMWATER PLANTING  
- VARIOUS SPECIES



P4. RAISED PLANTER  
- VARIOUS SPECIES

## ENTRY COURT - Planting

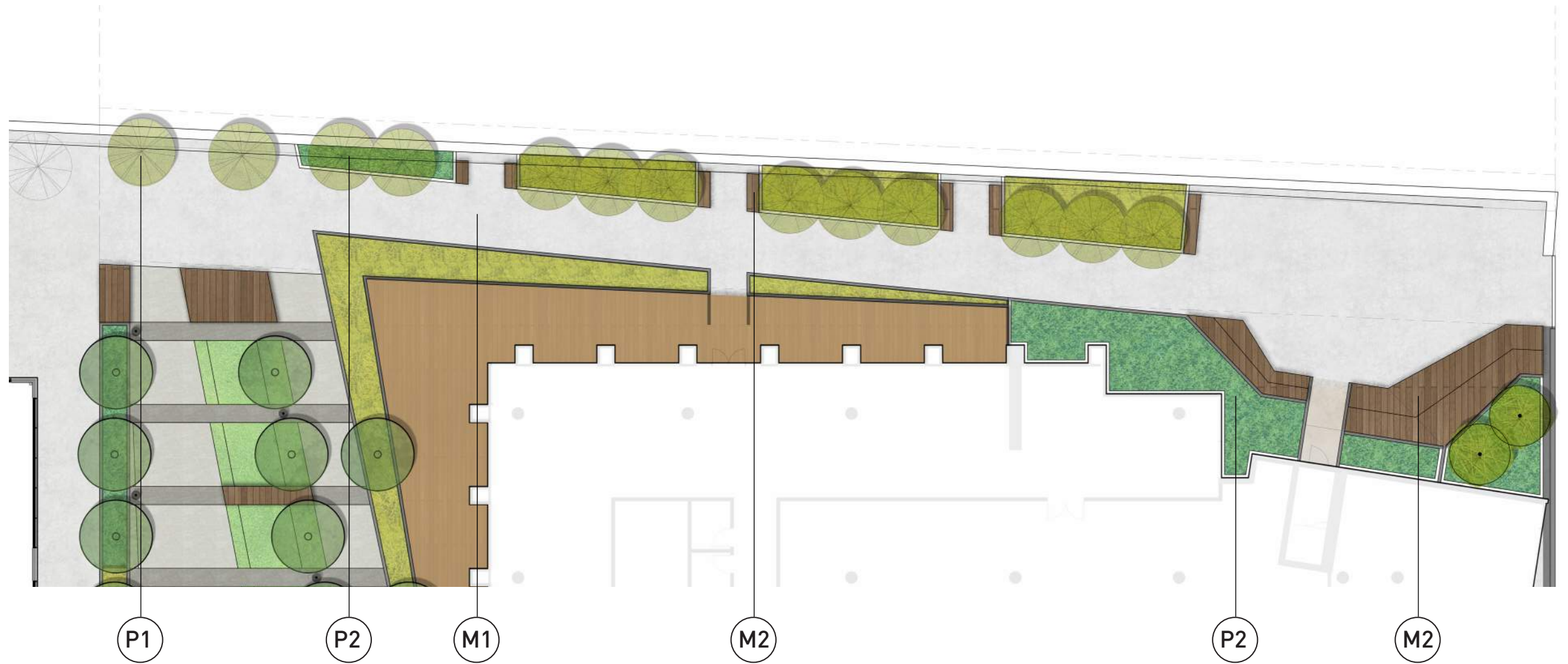
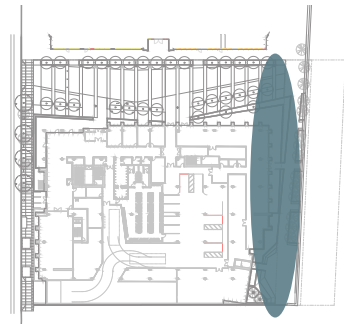
C.72



FREMONT APARTMENTS  
lincoln property company

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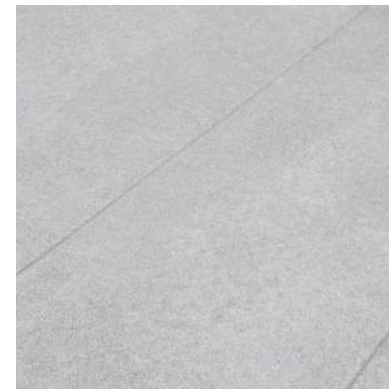




P1. GREENWAY TREE  
- HONEY LOCUST



P2. STORMWATER PLANTING  
- VARIOUS SPECIES



M1. CONCRETE PAVING

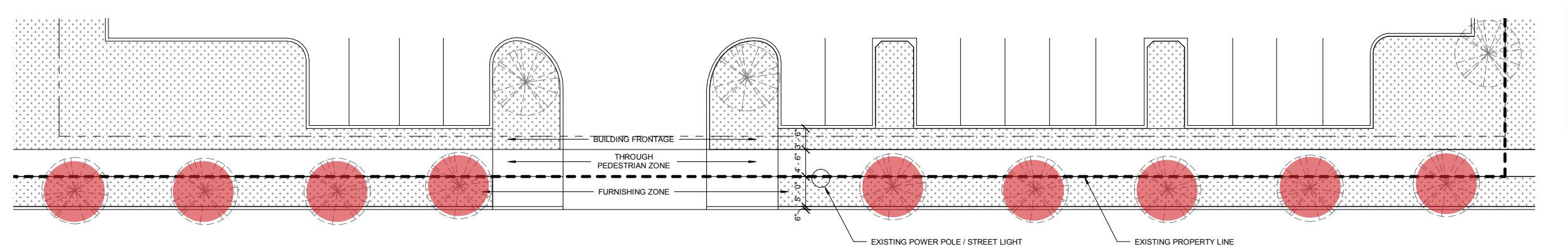
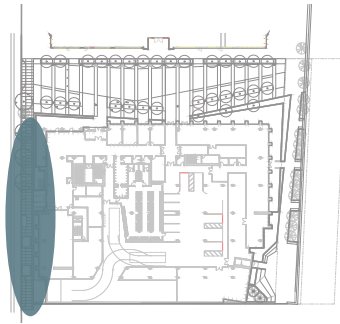


M2. CONCRETE & WOOD SEATING

# GREENWAY - Planting & Materials

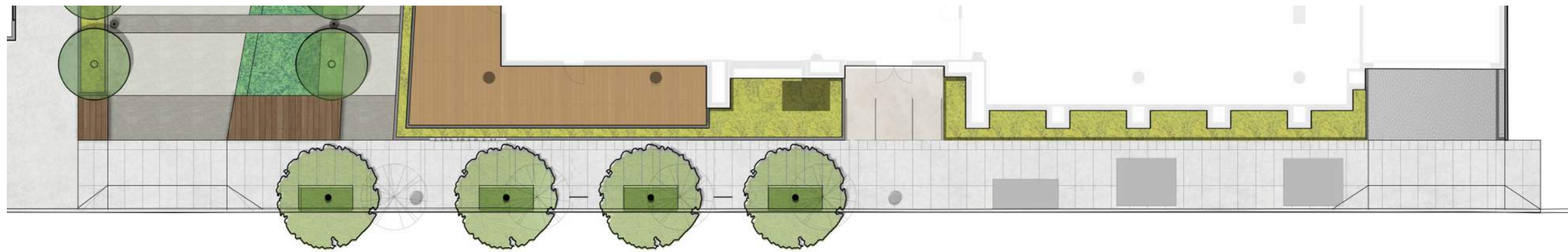






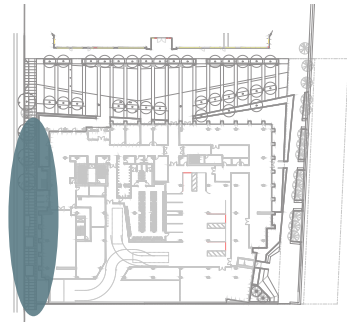
EXISTING

● Removed Trees:  
Norway Maple  
*Acer platanoides*



PROPOSED

# RIGHT OF WAY- Existing & Proposed



Proposed Street Tree:

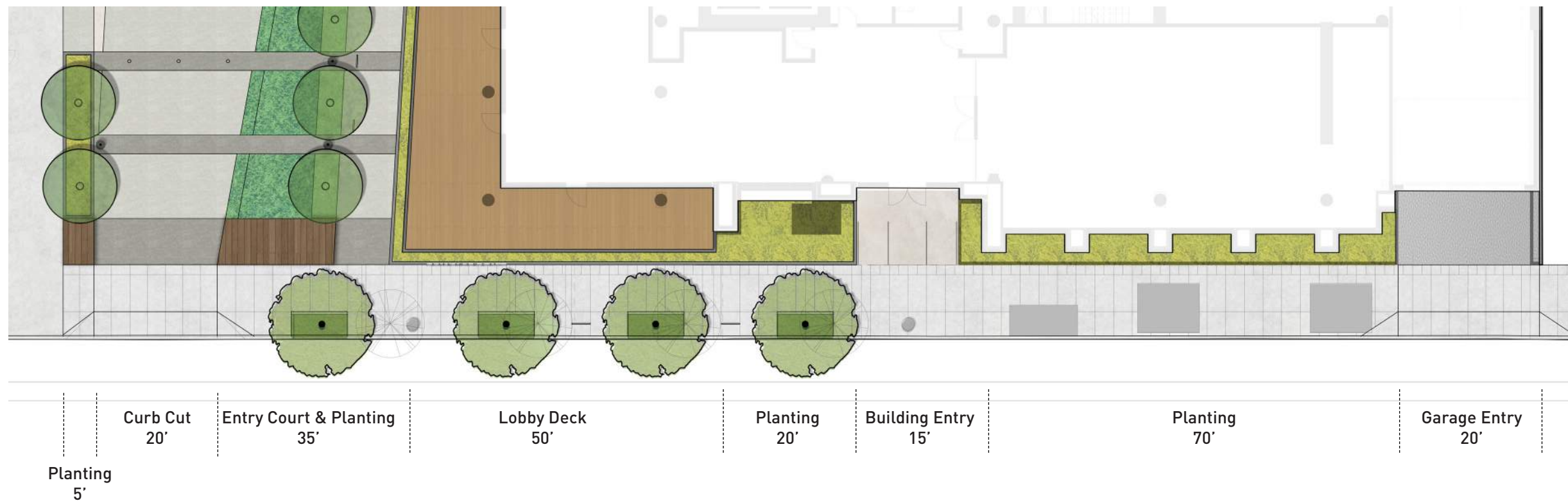
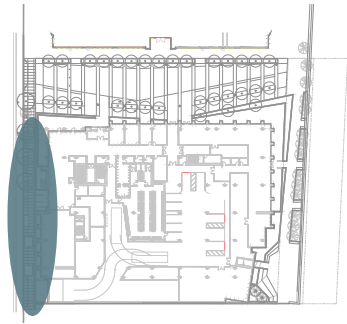


Ironwood  
*Parrotia persica*

- 1. Entry Court
- 2. Street Tree
- 3. Street Light
- 4. Building Entry
- 5. Vaults (See Arch.)
- 6. Garage Entry

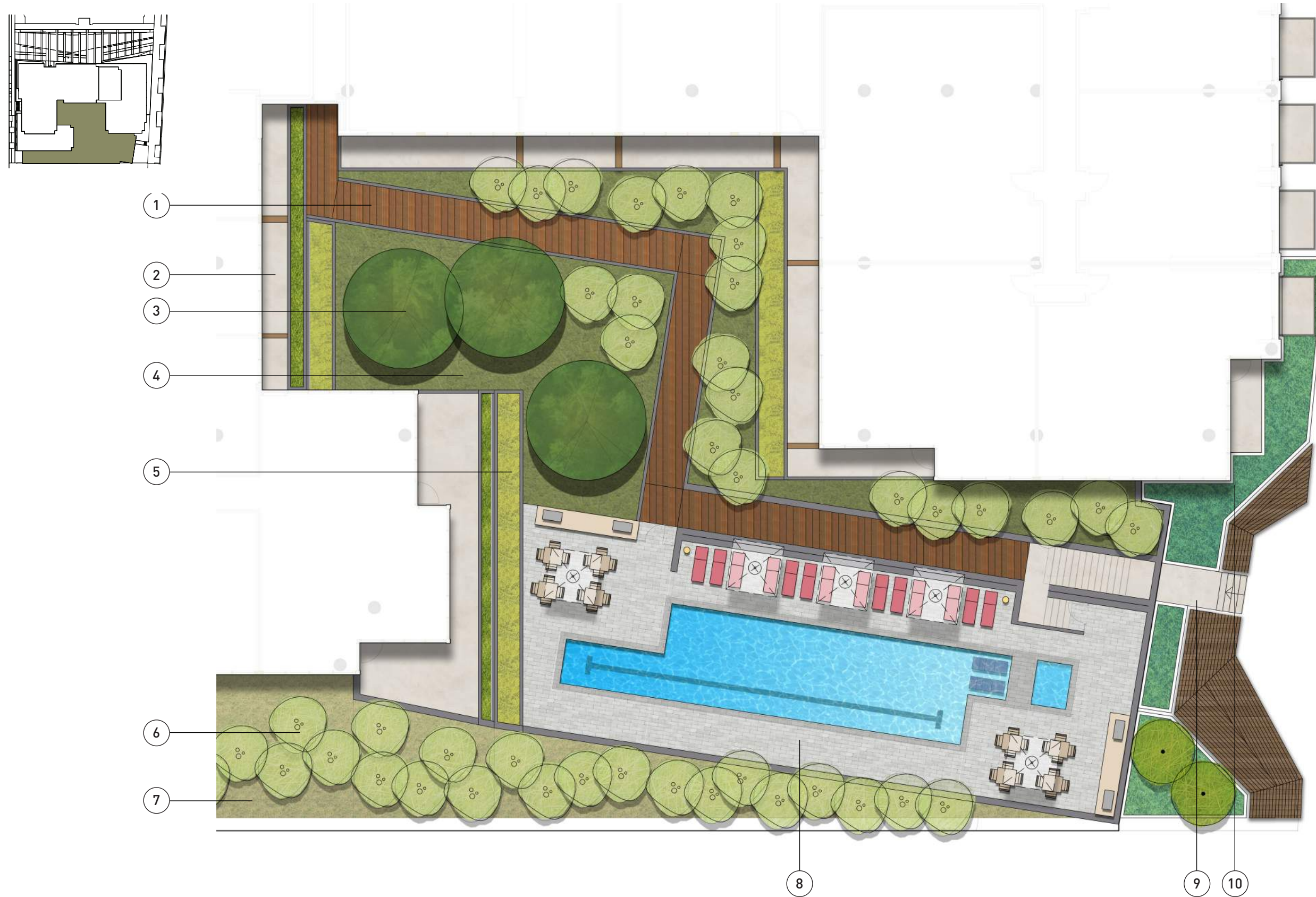
# RIGHT OF WAY- Landscape Plan





..... 18" Building Skirt  
 ..... 6' Sidewalk  
 ..... 4' Furnishing Zone  
 ..... 6" Curb

## RIGHT OF WAY- Transition to Site from Naito Pkwy.



1

2

3

4

5

6

7

8

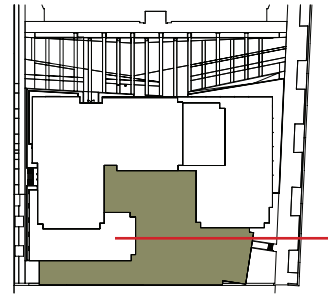
9

10

- 1. Boardwalk
- 2. Private Patios
- 3. Specimen Tree
- 4. Grassy Dunes
- 5. Screening Shrubs
- 6. Accent Tree
- 7. Sedum Mat
- 8. Pool Deck
- 9. Level 2 Access
- 10. Rain Garden

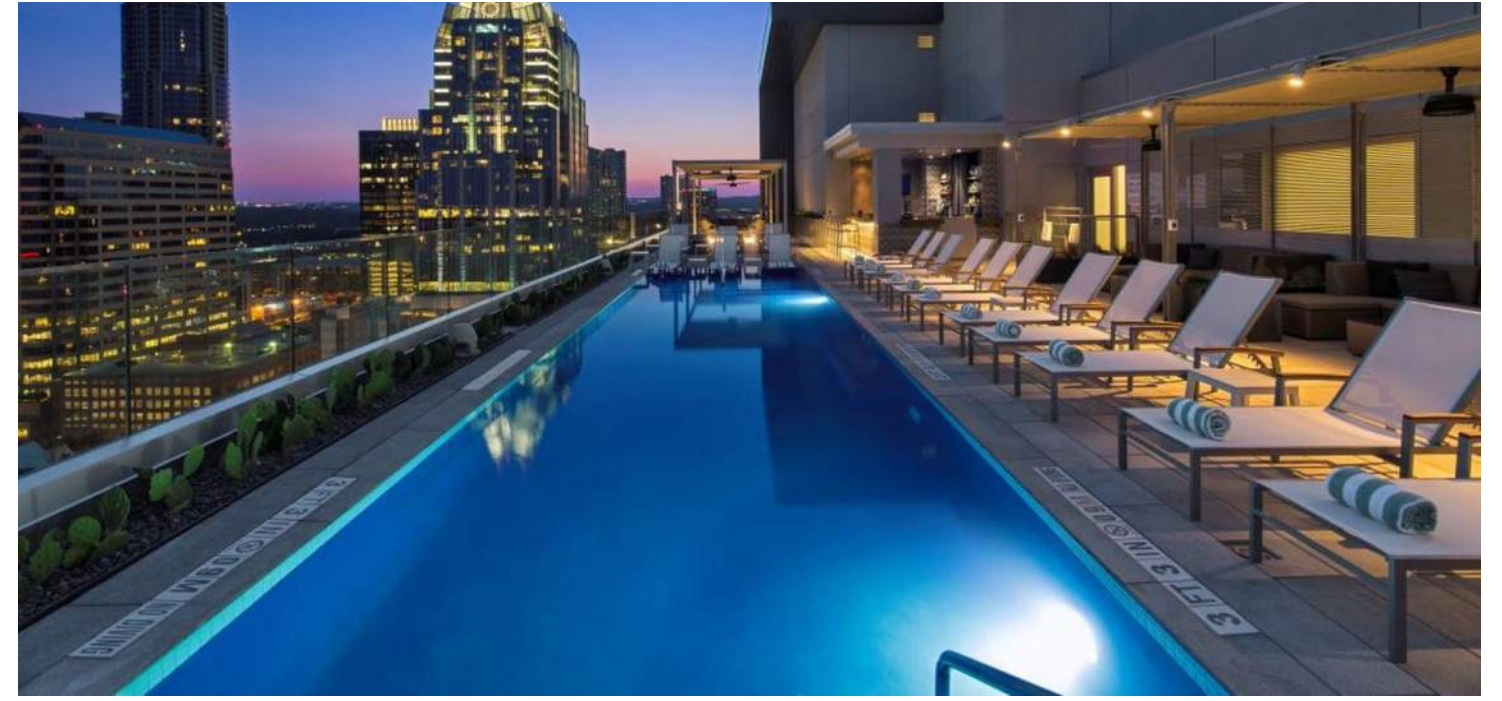
# Pool Terrace - Landscape Plan





Private Patio Varies	Raised Planters 7'	Pool Deck 96'	Rain Garden 7'	Bench 8'	River Walk 45'
-------------------------	-----------------------	------------------	-------------------	-------------	-------------------

# Pool Terrace - Section Looking North

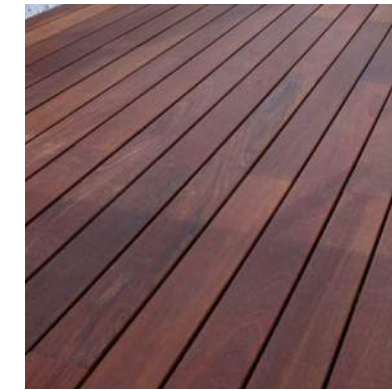
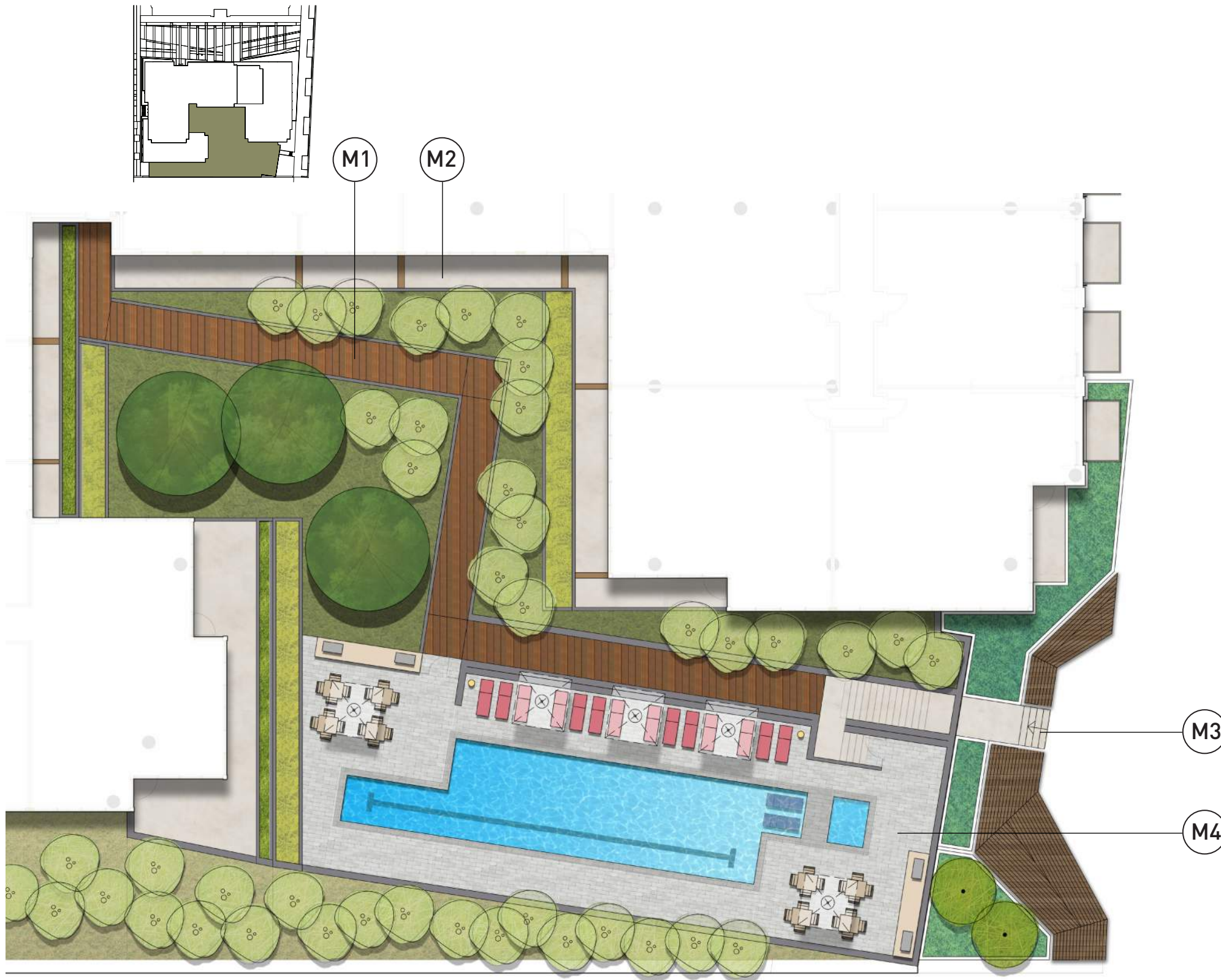


## Pool Terrace - Precedents



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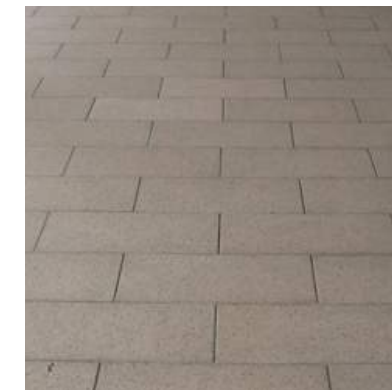
DESIGN REVIEW # LU 16-278621 DZ GW



M1. BOARDWALK



M4. LINEAR PEDESTAL PAVERS



M2. SQUARE PEDESTAL PAVERS

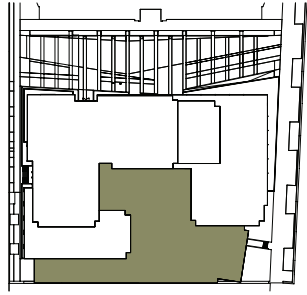


M3. CAST IN PLACE CONCRETE STAIR

# Pool Terrace - Materials

C.80

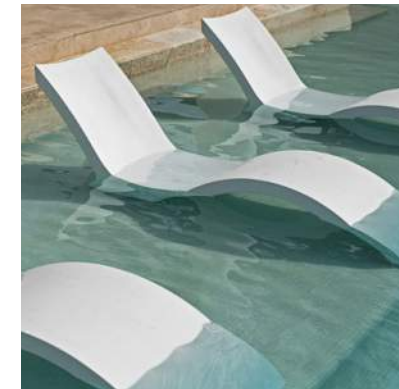




F1. CHAISE LOUNGE & UMBRELLA



F4. BBQ



F2. LEDGE LOUNGERS



F3. MOVEABLE TABLES & CHAIRS

# Pool Terrace- Furnishings







P1. GRASSY DUNES  
- VARIOUS SPECIES



P4. STORMWATER PLANTING  
- VARIOUS SPECIES



P2. ACCENT TREE  
- DOGWOOD



P5. SCREENING HEDGE  
- SARCOCOCCA

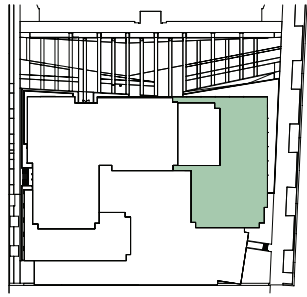


P3. SPECIMEN TREE  
- STEWARTIA



P6. SEDUM MAT  
- VARIOUS SPECIES

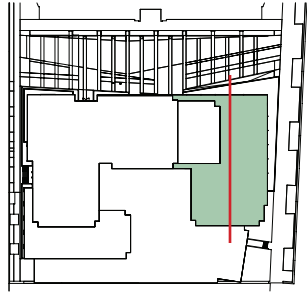
Pool Terrace - Planting



- 1. Sedum Mat
- 2. Raised Planter
- 3. Lounge Seating
- 4. Outdoor Kitchen
- 5. Dining Lounge
- 6. Fire Lounge
- 7. Potted Trees

# Overlook - Landscape Plan





Overlook - Landscape Section Looking East

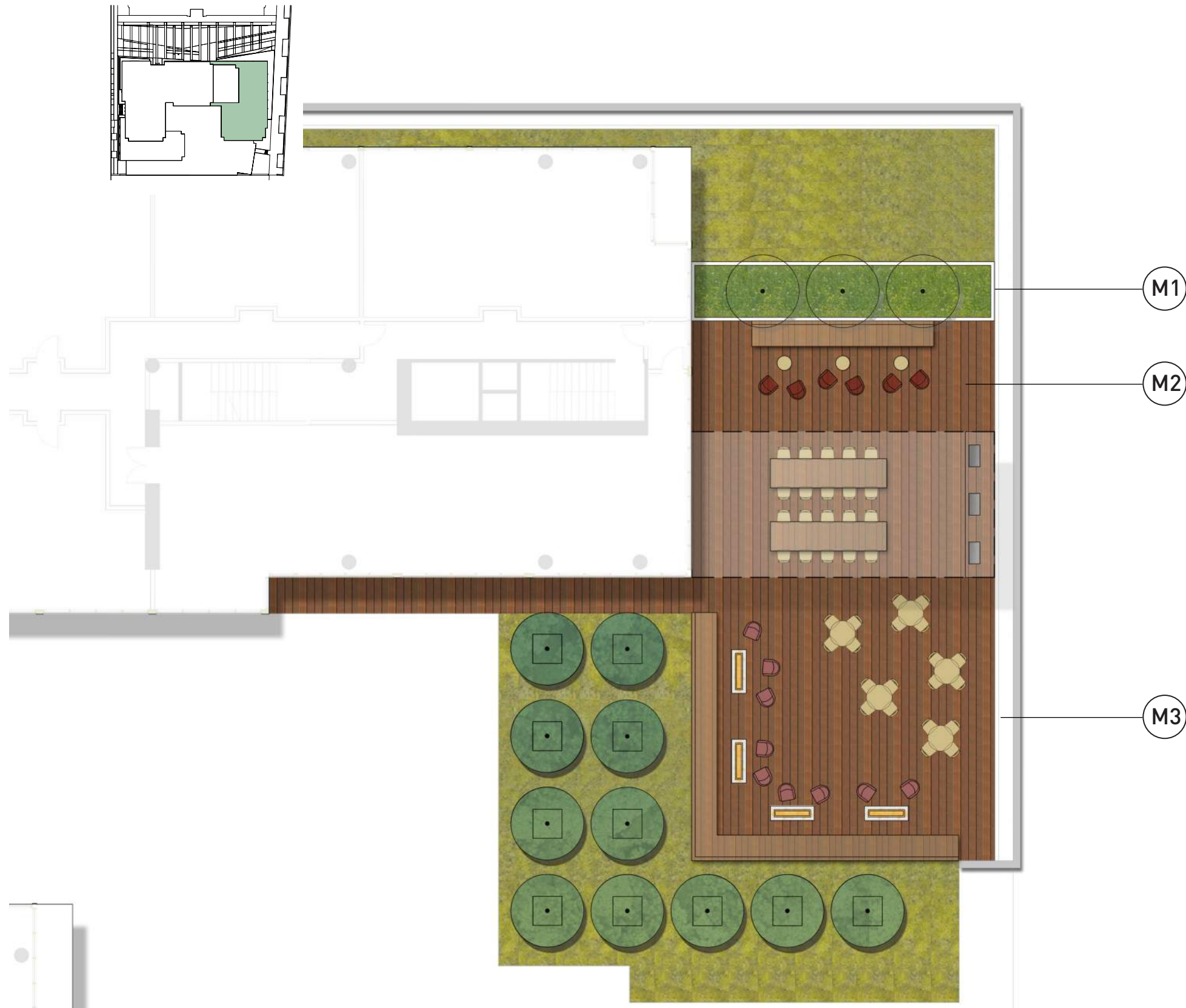
1/8" = 1'-0"



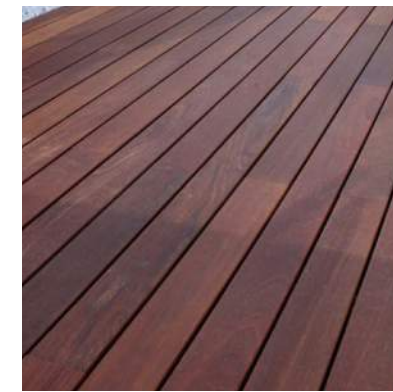
## Overlook - Precedents



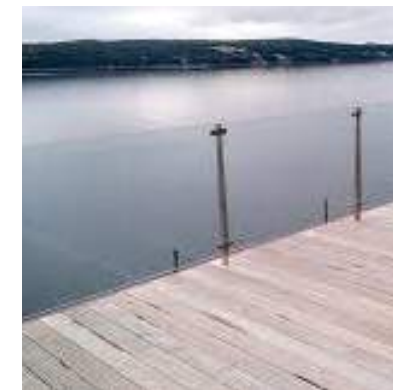
FREMONT APARTMENTS  
lincoln property company  
DESIGN REVIEW # LU 16-278621 DZ GW



M1. RAISED PLANTER



M2. WOOD DECKING

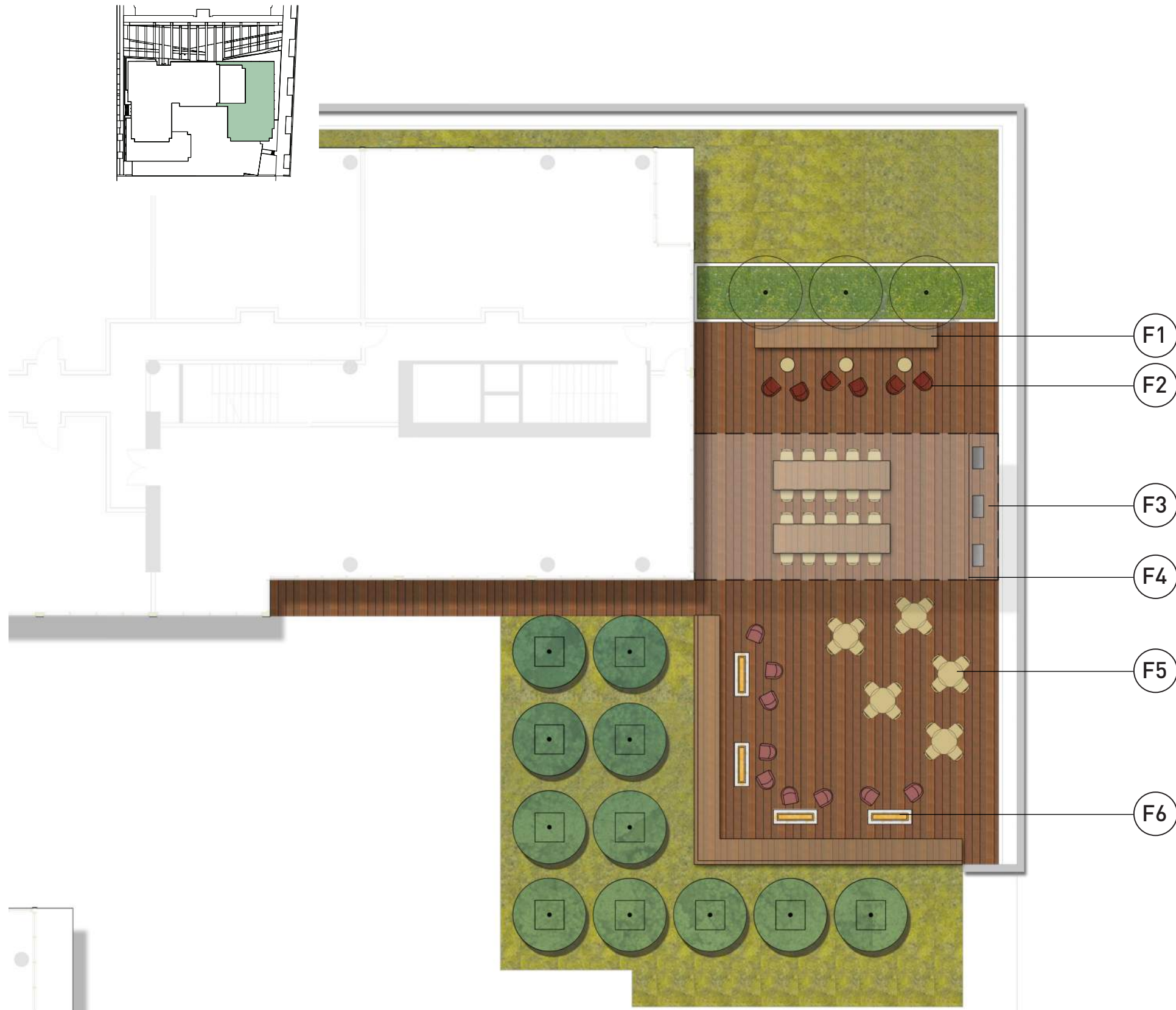


M3. GLASS GUARDRAIL

## Overlook - Materials

C.86





F1. WOOD BENCH



F4. OVERHEAD CANOPY



F2. LOUNGE SEATING



F5. MOVABLE TABLES & CHAIRS



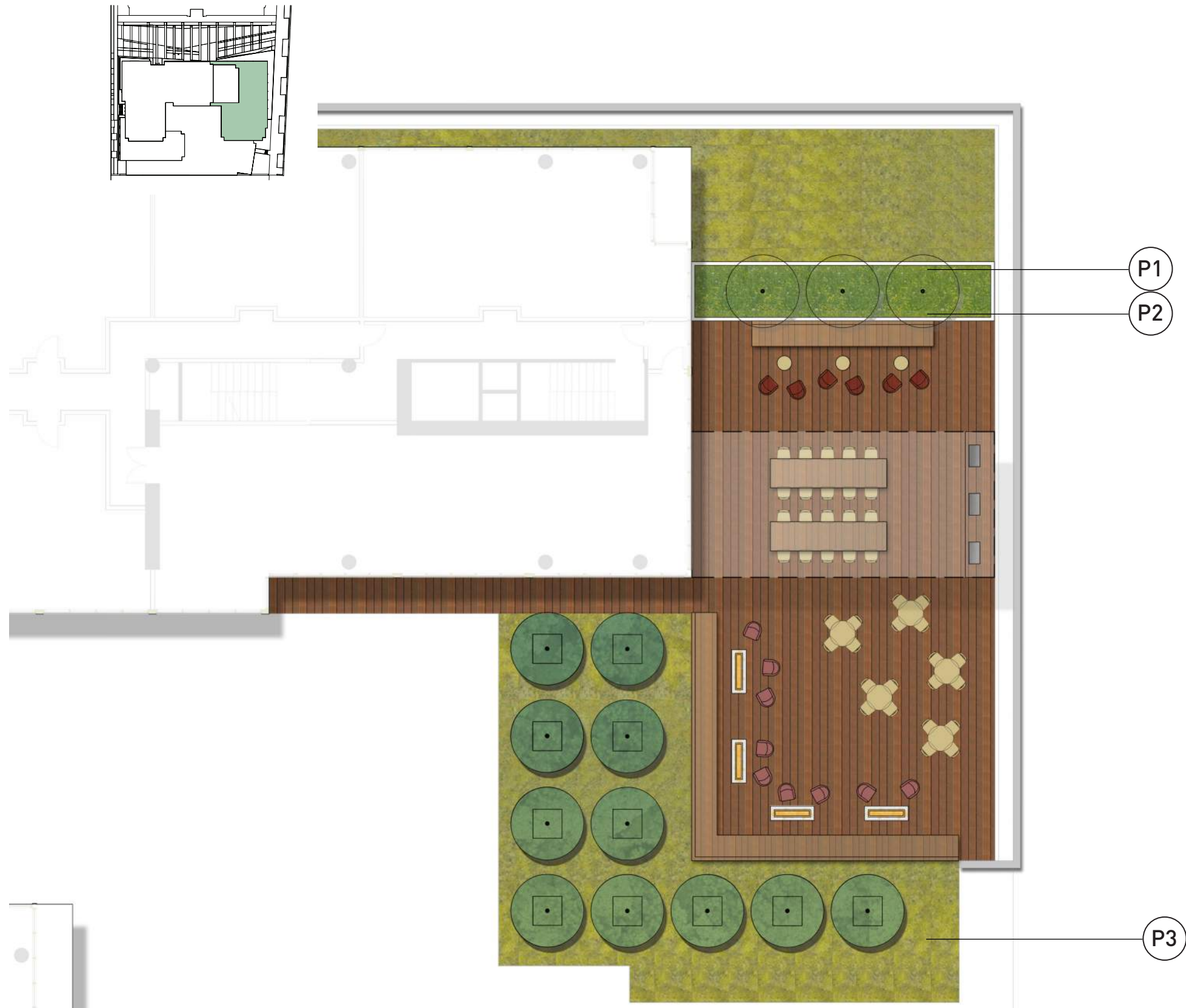
F3. OUTDOOR KITCHEN



F6. FIRE TABLE

# Overlook - Furnishings





P1. ACCENT TREE  
- WESTERN REDBUD



P2. ACCENT PLANTING  
- ASTILBE

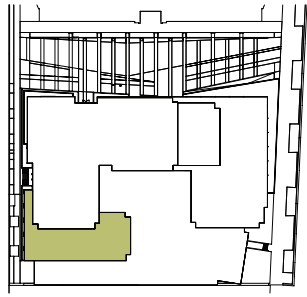


P3. SEDUM MAT  
- VARIOUS SPECIES

## Overlook - Planting

C.88



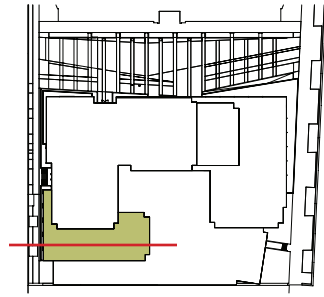


- 1. Sun Lounge
- 2. Fire Lounge
- 3. Raised Planter
- 4. Potted Trees
- 5. Sedum Mat

# The Nest - Landscape Plan







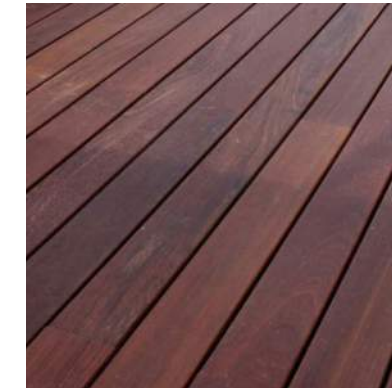
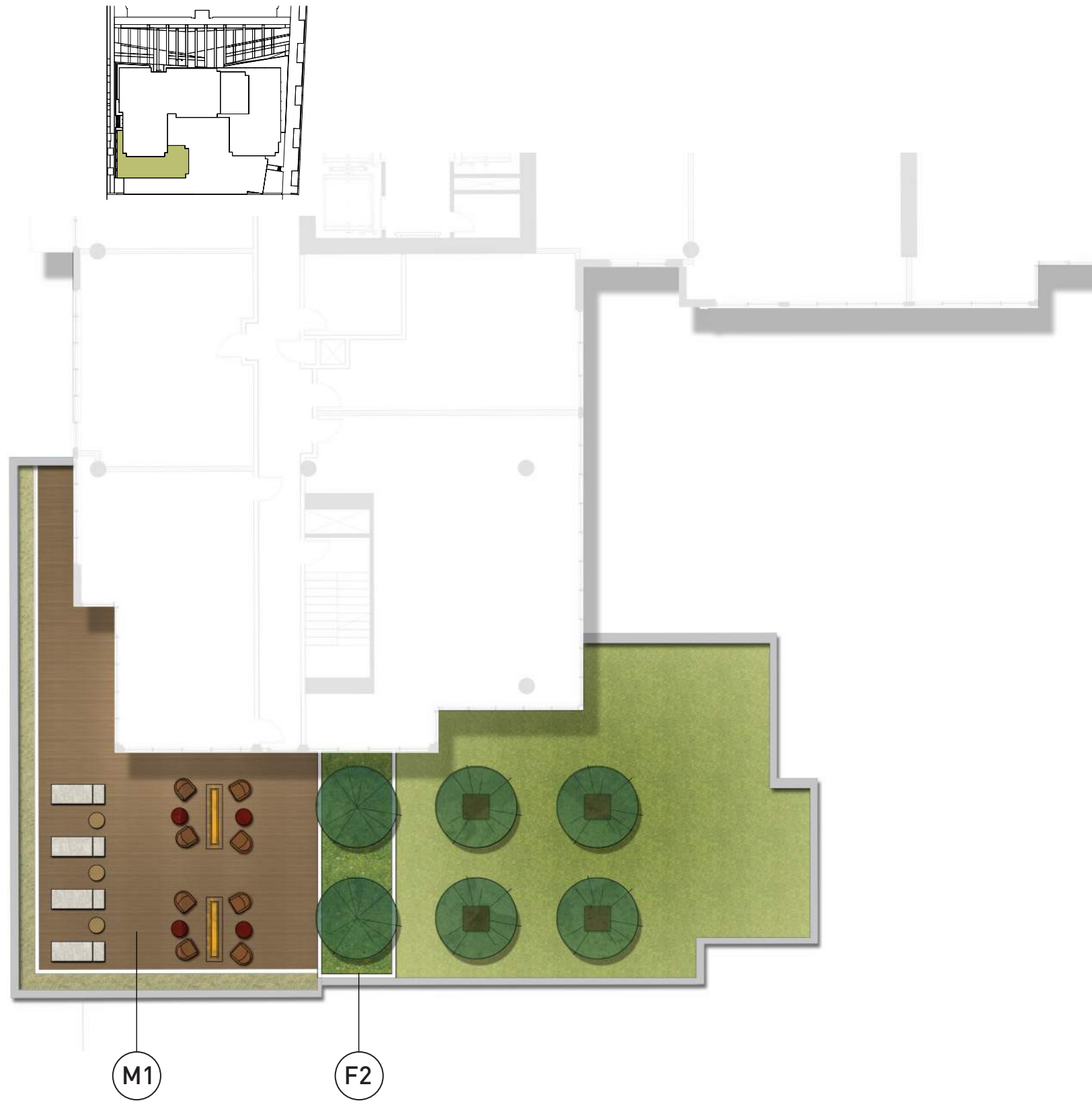
# The Nest - Section Looking North

C.90

1/8" = 1'-0"



## The Nest - Precedents



M1. WOOD DECKING



M2. RAISED PLANTER

# The Nest - Materials

C.92





F1

F2

F3



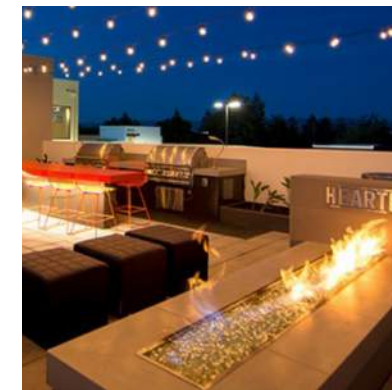
F1. CHAISE LOUNGE



F4. LARGE PLANTERS



F2. LOUNGE FURNITURE



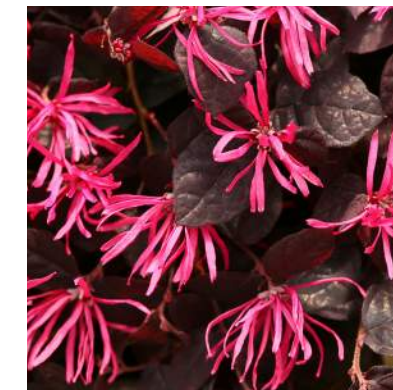
F3. FIRE TABLE

# The Nest - Furnishings





P1. ACCENT TREE  
- FULL MOON MAPLE



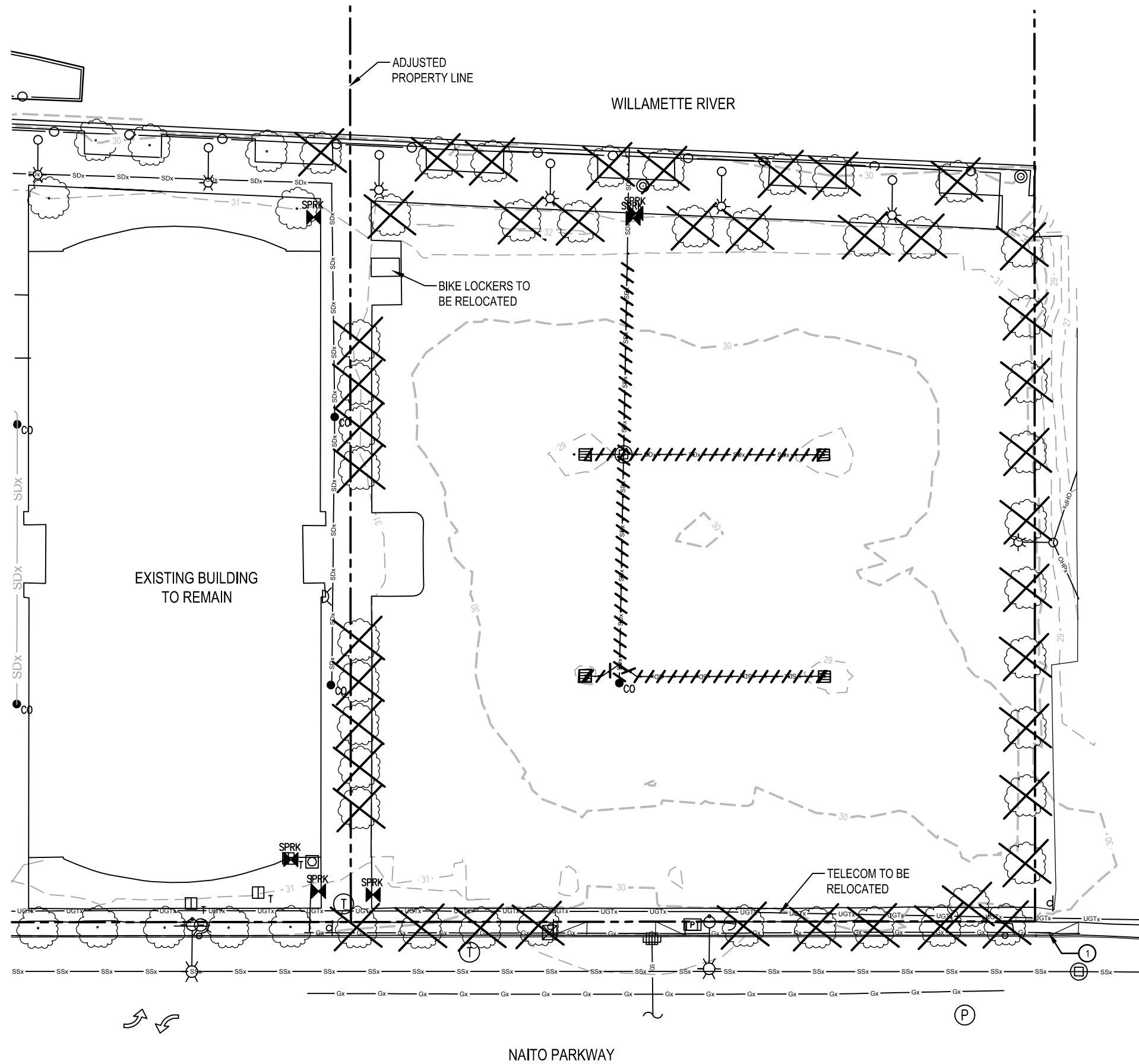
P2. ACCENT PLANTING  
- LOROPETALUM



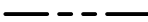

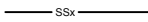
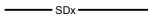

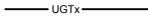
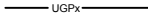
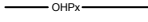


P3. SEDUM MAT  
- VARIOUS SPECIES

## The Nest - Planting



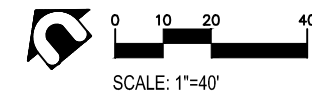


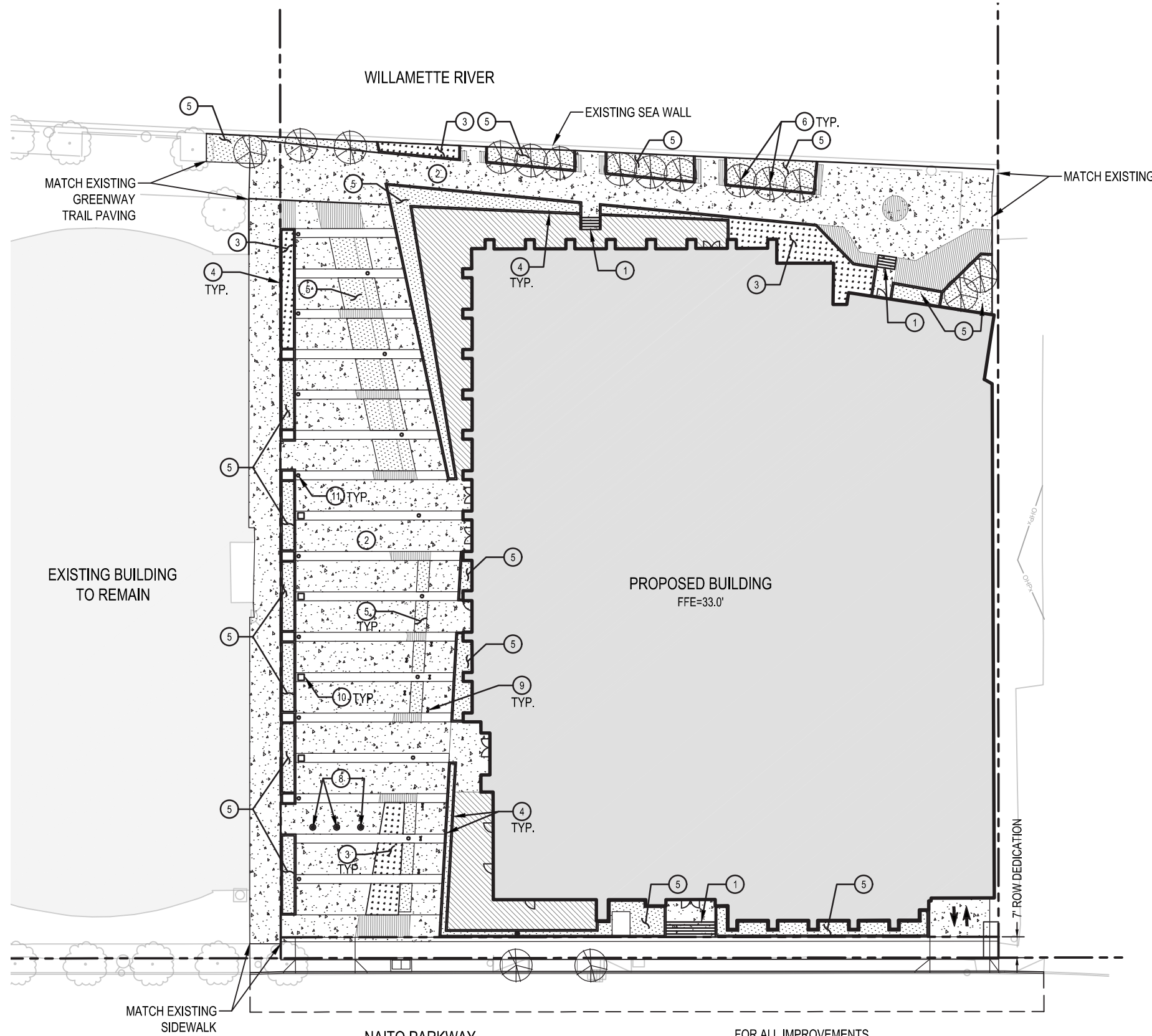
**LEGEND:**

-  PROPERTY LINE
-  EXISTING CONTOUR
-  EXISTING SANITARY SEWER
-  EXISTING STORM LINE
-  EXISTING GAS LINE
-  EXISTING UNDERGROUND TELEPHONE LINE
-  EXISTING UNDERGROUND POWER LINE
-  EXISTING OVERHEAD POWER LINE
-  UTILITY TO BE REMOVED
-  TREE TO BE REMOVED

**KEYNOTES:**

1. 24" NATURAL GAS LINE, USE EXTREME CAUTION!





**LEGEND:**

- PROPERTY LINE
- EXISTING OVERHEAD UTILITY
- SAWCUT LINE
- WATER QUALITY PLANTER
- CONCRETE PAVEMENT
- LANDSCAPED AREA
- RAISED DECK PER ARCHITECTURAL
- BENCH PER ARCHITECTURAL
- PROPOSED TREE

**GENERAL NOTES:**

1. SEE ARCHITECTURAL PLAN FOR DIMENSIONS AND ADDITIONAL SITE ELEMENTS.
2. SEE PUBLIC STREET IMPROVEMENT DESIGN SET FOR WORK WITHIN R.O.W.

**1 CONSTRUCTION KEYNOTES:**

1. CONCRETE STEPS PER X/CX.00
2. CONCRETE PAVEMENT PER X/CX.00.
3. WATER QUALITY PLANTER, FOR DETAILS SEE COMPOSITE UTILITY PLAN
4. PLANTER WALL, APPROXIMATELY 2-3' IN HEIGHT, PER X/CX.00
5. LANDSCAPE AREA. SEE LANDSCAPE PLAN FOR DETAILS
6. PROPOSED TREE. SEE LANDSCAPE PLAN FOR DETAILS
7. MATCH EXISTING SIDEWALK
8. REMOVABLE BOLLARD PER X/CX.00
9. BIKE RACK
10. UTILITY STATION
11. SITE LIGHTING

EXISTING BUILDING TO REMAIN

PROPOSED BUILDING  
FFE=33.0'

NAITO PARKWAY

WILLAMETTE RIVER

EXISTING SEA WALL

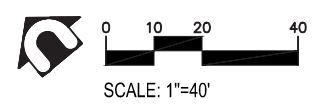
MATCH EXISTING GREENWAY TRAIL PAVING

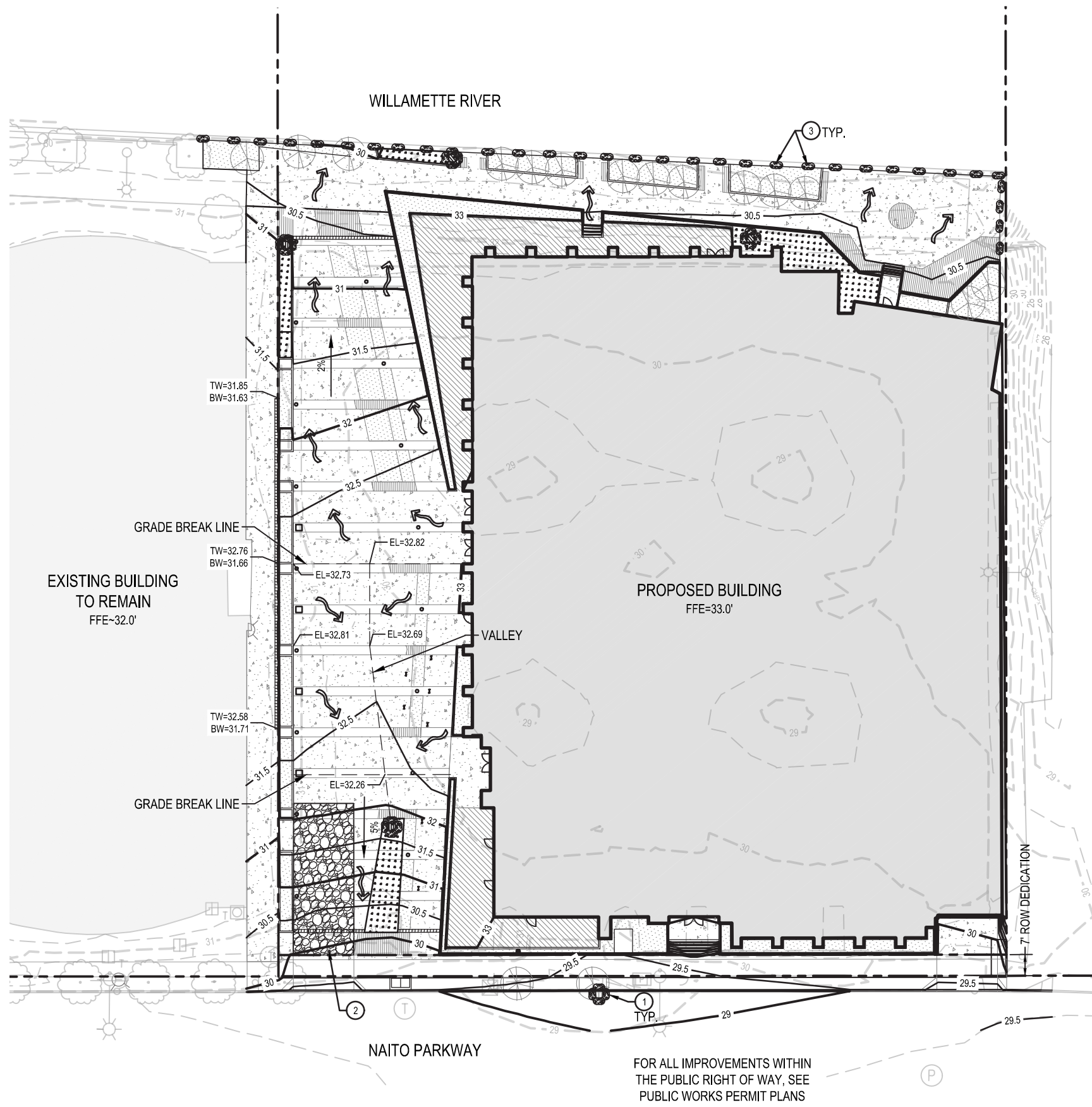
MATCH EXISTING

MATCH EXISTING SIDEWALK

FOR ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY, SEE PUBLIC WORKS PERMIT PLANS

7'-ROW DEDICATION





FOR ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY, SEE PUBLIC WORKS PERMIT PLANS

**LEGEND:**

- — — — — PROPERTY LINE
- — — — — SAWCUT LINE
- — — — — EXISTING CONTOUR
- — — — — PROPOSED CONTOUR
- SF — SF — SEDIMENT FENCE
- ⊕ INLET PROTECTION
- ↷ FLOW ARROW
- ▨ WATER QUALITY PLANTER
- ▨ CONSTRUCTION ENTRANCE
- ⊕ OVERFLOW
- ⊕ BIO BAG
- TW TOP OF WALL
- BW BOTTOM OF WALL

**① CONSTRUCTION KEYNOTES:**

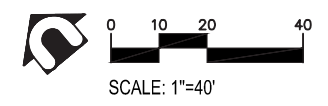
1. INLET PROTECTION PER X/CX.00.
2. CONSTRUCTION ENTRANCE PER X/C0.00.
3. BIO-BAG PER X/C0.00.

**EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION:**

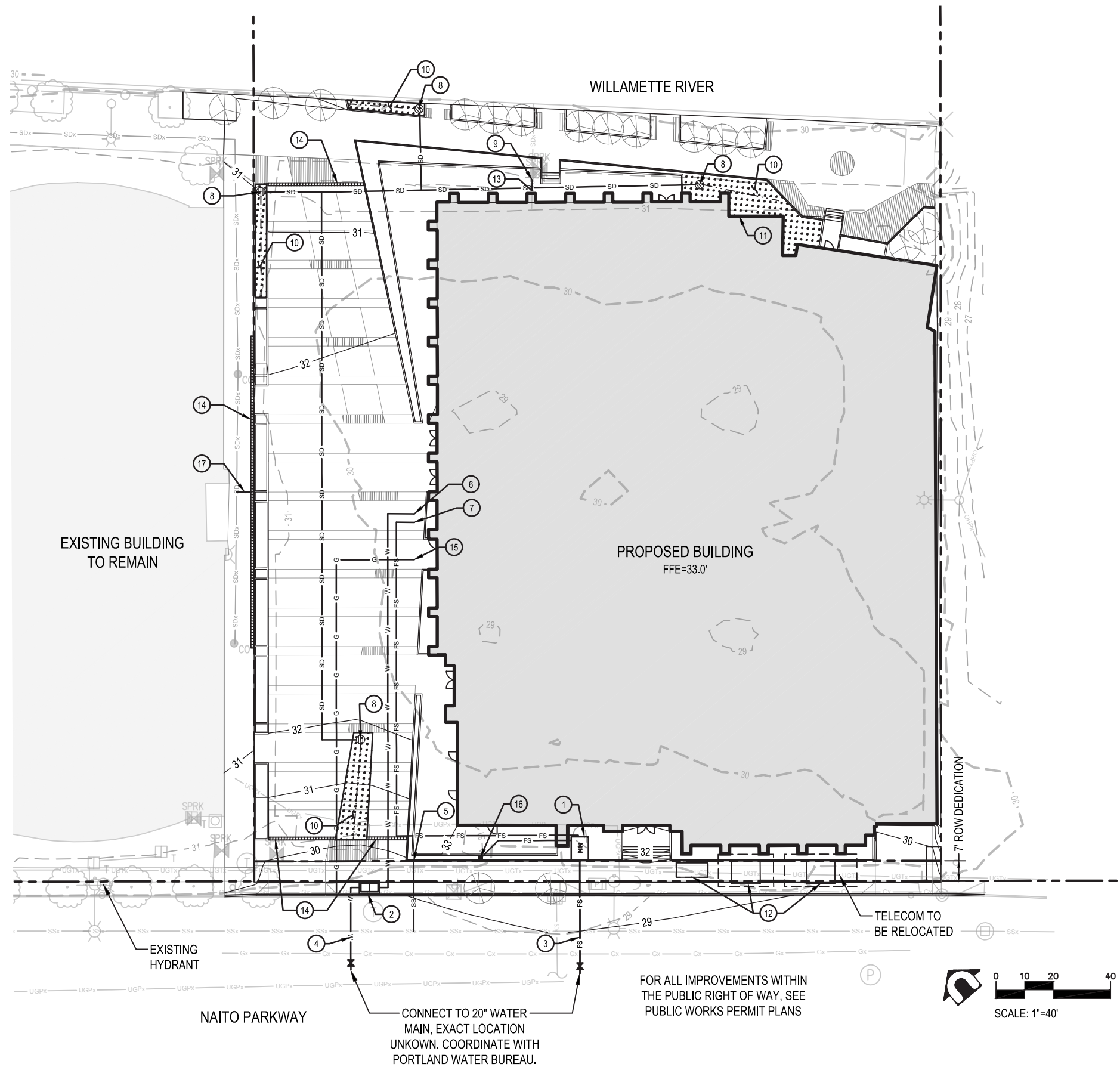
1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
  2. LONG TERM SLOPE STABILIZATION MEASURES "INCLUDING MATTING" SHALL BE IN PLACE OVER ALL EXPOSED SOILS BY OCTOBER 1.
  3. INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.
- THESE EROSION AND SEDIMENT CONTROL PLANS ASSUME "DRY WEATHER" CONSTRUCTION. "WET WEATHER" CONSTRUCTION MEASURES NEED TO BE APPLIED BETWEEN OCTOBER 1ST AND MAY 31ST.

**GENERAL NOTES:**

1. EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO BEGINNING WORK.







**LEGEND:**

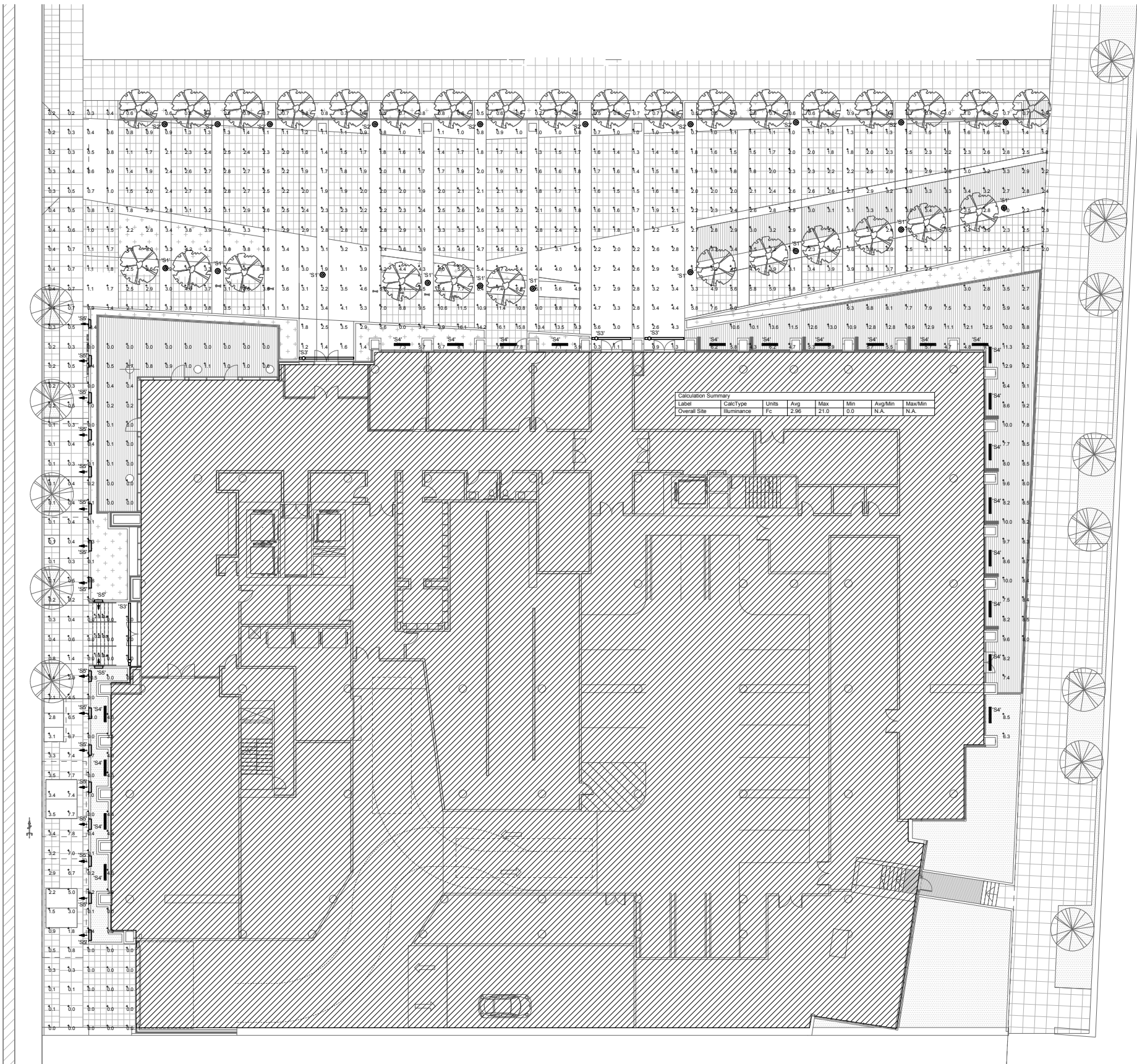
— — — — —	PROPERTY LINE	—SS—SS—	PROPOSED SANITARY SEWER
— — — — —	SAWCUT LINE	—SD—SD—	PROPOSED STORM LINE
—SDx—	EXISTING STORM SEWER	—G—G—	PROPOSED GAS SERVICE LINE
—CHPx—	EXISTING OVERHEAD UTILITY	— — — — —	PERFORATED PIPE
—SSx—	EXISTING SANITARY SEWER	[ ]	DOMESTIC WATER METER
—Gx—Gx—	EXISTING GAS SERVICE	⊗	GATE VALVE
—200—	EXISTING CONTOUR	⊙	OVERFLOW STRUCTURE
—200—	PROPOSED CONTOUR	[ NN ]	FIRE DCDV
—W—W—	PROPOSED WATER LINE	[ ]	STORMWATER QUALITY FACILITY
—FS—FS—	PROPOSED FIRE SERVICE LINE		

**PRIVATE UTILITY NOTES:**

1. UTILITY TRENCHING PER X/CX.X FOR ONSITE WORK.
2. CLEANOUTS SHALL BE INSTALLED PER X/CX.X AND PER THE UNIFORM PLUMBING CODE (MAX. 100' SPACING AND/OR 135' AGGREGATE HORIZONTAL CHANGE IN DIRECTION).
3. ALL WATER LINE TEES, PLUGS, BENDS, REDUCERS, VALVES, AND HYDRANT BRANCHES SHALL BE MECHANICALLY RESTRAINED OR USE THRUST BLOCKING PER X/CX.X.
4. MINIMUM COVER ON WATER PIPES SHALL BE 36".
5. THE CONTRACTOR SHALL CALL FOR ALL INSPECTIONS AND PERFORM THE NECESSARY TESTING REQUIRED BY THE SPECIFICATIONS AND THE PLUMBING PERMIT.
6. MATCH PIPE INVERTS UNLESS OTHERWISE NOTED.
7. ALL SANITARY SEWER PIPE MATERIAL TO BE 3034 PVC, UNLESS NOTED OTHERWISE.
8. ALL STORM SEWER PIPE MATERIAL TO BE HDPE, UNLESS NOTED OTHERWISE.
9. ALL SANITARY PIPE TO PIPE CONNECTIONS SHALL USE WYE FITTINGS, UNLESS NOTED OTHERWISE.

**① UTILITY KEYNOTES:**

1. FIRE DDCVA PER X/CX.X
2. 3" DOMESTIC WATER METER BY PORTLAND WATER BUREAU
3. FIRE SERVICE LINE BY PORTLAND WATER BUREAU
4. DOMESTIC WATER LINE BY PORTLAND WATER BUREAU
5. SANITARY POINT OF CONNECTION
6. DOMESTIC WATER POINT OF CONNECTION. DCVA LOCATED INSIDE BUILDING.
7. FIRE SERVICE POINT OF CONNECTION
8. OVERFLOW STRUCTURE PER X/CX.X
9. CONNECT TO EXIST. 14" STORM LINE, IE ± 22.00, CONTRACTOR TO VERIFY
10. FLOW THROUGH PLANTER WITH PERFORATED PIPE PER X/CX.X
11. ROOF DRAIN TO DAYLIGHT INTO PLANTER
12. PGE VAULTS PER SEPARATE PERMIT
13. GREEN ROOF TO DISCHARGE DIRECTLY TO EXISTING STORM LINE
14. TRENCH DRAIN
15. GAS POINT OF CONNECTION
16. FIRE DEPARTMENT CONNECTION PER X/CX.X
17. CONNECTION TO EXISTING STORM LINE



LEGEND	
S1	SELUX: MTR COLUMN LIGHTING, TYPE V DISTRIBUTION
S2	SELUX: MTR COLUMN LIGHTING, TYPE IV DISTRIBUTION
S3	KLUS DESIGN: KRAV 810 EDGE LITE
S4	LUMENWERX: VIA WET RECESSED ASYMMETRIC LIGHT
S5	PRISMA ARCHITECTURAL: ALU TECH STEP LIGHT

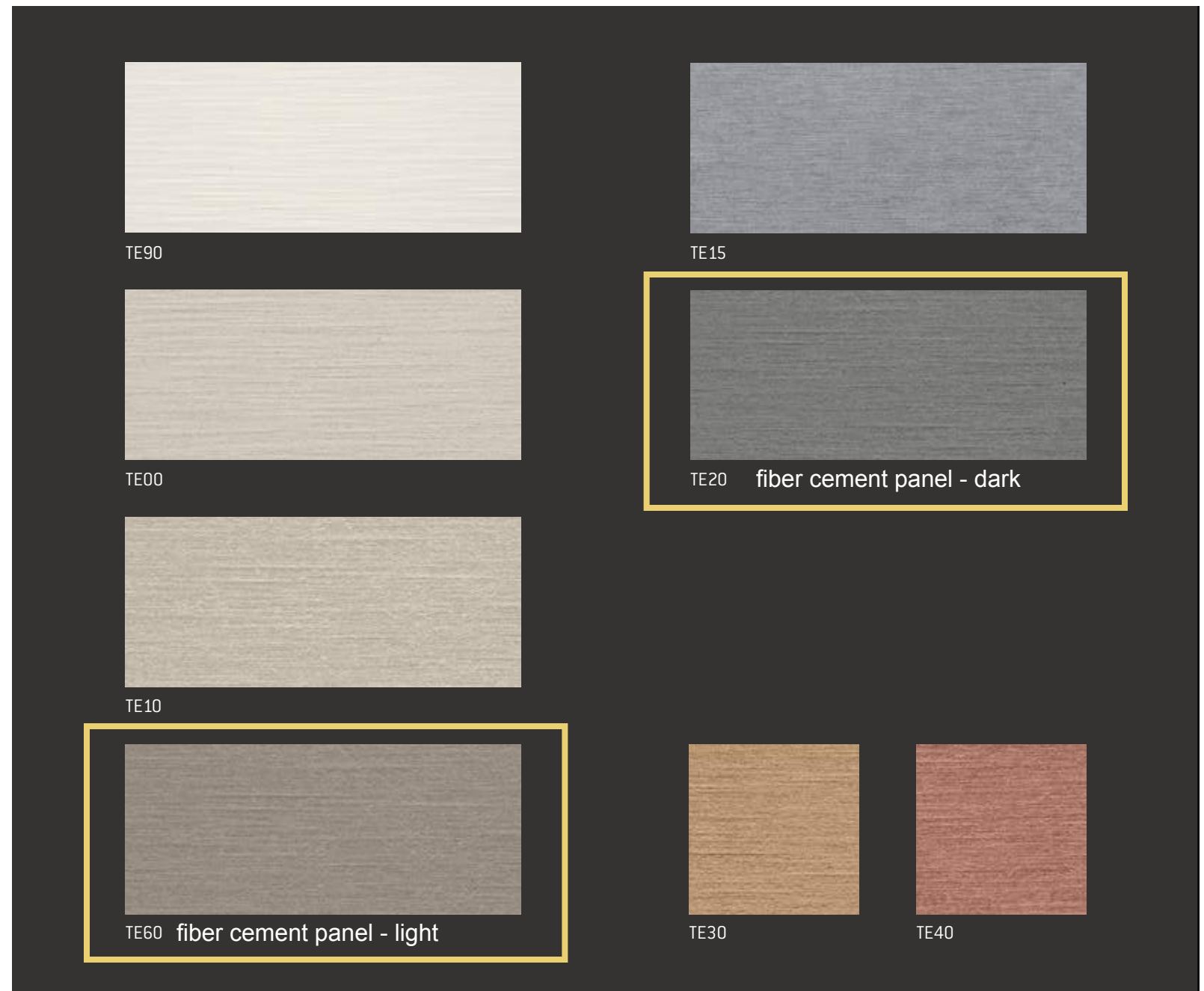


1 SOUTH PLAZA SITE PLAN - LIGHTING PHOTOMETRICS

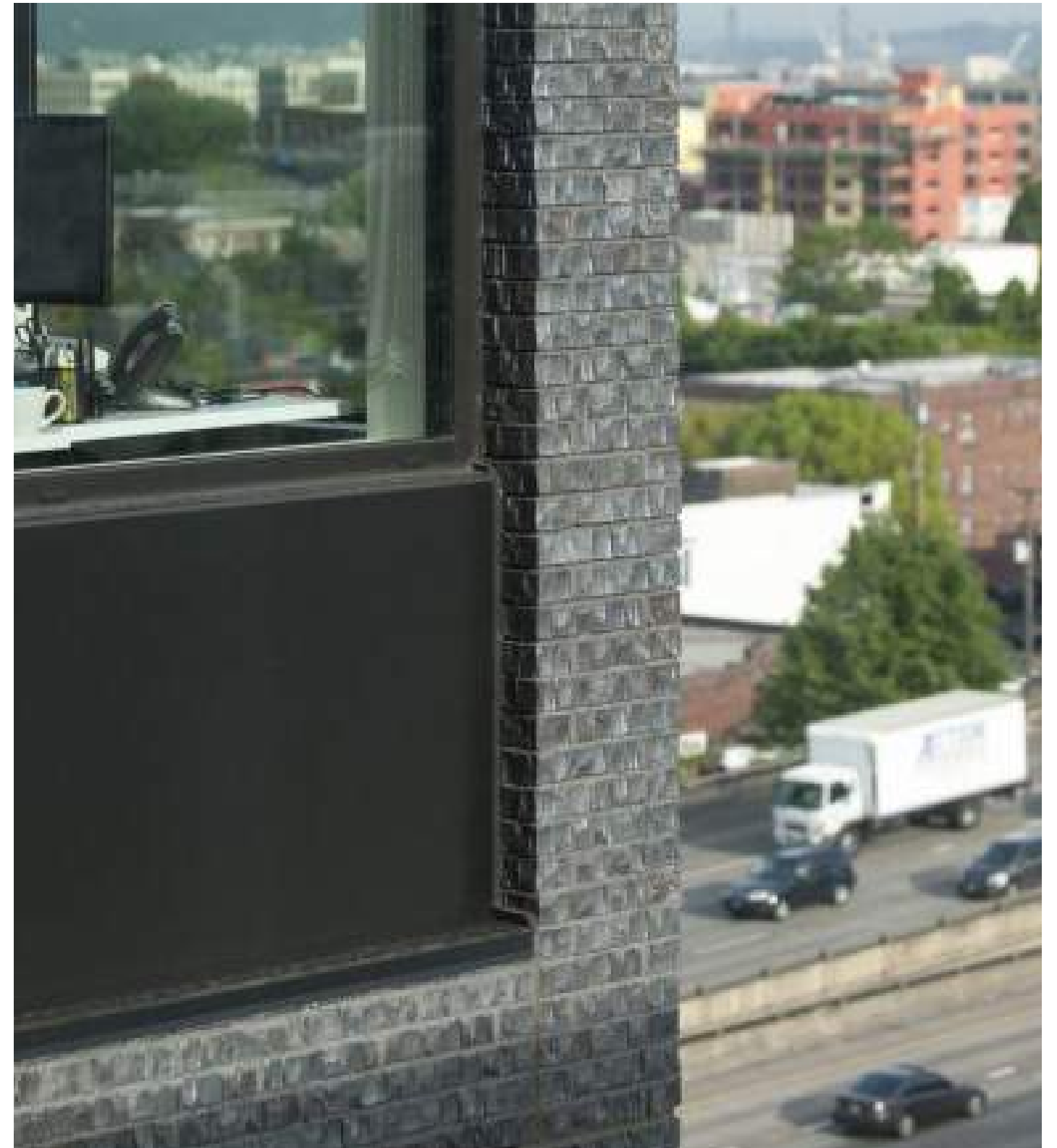
# EQUITONE [tectiva]

EQUITONE [tectiva] is a through-coloured facade material, characterised by a sanded surface and naturally occurring hues within the material. Every tectiva panel is unique, strongly expressing the raw texture of the core eternit fibre cement material. The material comes in a large panel size and can be transformed into any size or shape in the workshop or on site. No matter what design options you explore, EQUITONE's through-coloured nature guarantees crisp, monolithic details.

DIMENSIONS INCH	THICKNESS	MAX. WIDTH	MAX. LENGTH
EQUITONE [linea]	0,39	48	120
EQUITONE [tectiva]	0,31	48	120
EQUITONE [materia]	0,31	49	122
EQUITONE [natura]	0,31 - 0,47	49	122
EQUITONE [pictura]	0,31 - 0,47	49	122

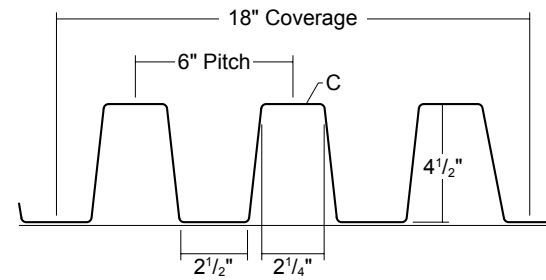


# ENDICOTT - MANGANESE ARTISAN IRONSPOT BRICK



# TDR-6 WALL PANEL

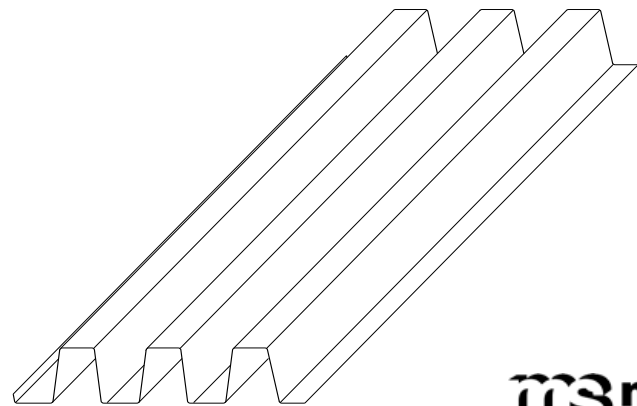
Condensed  
Technical  
Reference



ARCHITECTURAL COMMERCIAL INDUSTRIAL PANEL    EXPOSED FASTENED    18" COVERAGE    WALL PANEL    OPEN FRAMING OR SOLID SUBSTRATE

## PANEL OVERVIEW

- ▶ Finishes: Standard: PVDF  
Optional: Multi-pass Kynar®, Marblique, Plastisol, Polyester and MS Colorfast45®
- ▶ Corrosion Protection: AZ55 per ASTM A 792 for unpainted Galvalume®  
AZ50 per ASTM A 792 for painted Galvalume®  
G90 per ASTM A 653 for Galvanized
- ▶ Gauges: 24 ga, 22 ga, 20 ga and 18 ga
- ▶ 18" panel coverage, 4 1/2" rib height
- ▶ Trapezoidal ribs on 6" centers
- ▶ Panel Length: 5' minimum, 30' maximum
- ▶ Exposed Fastened Panel
- ▶ Optional material availability: Stainless Steel, Copper and Aluminum
- ▶ Custom capabilities include:  
- Perforated panels for wind screens and liner panels

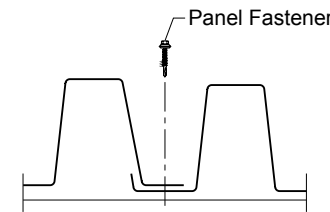


**MS metal sales**  
manufacturing corporation

# TDR-6 WALL PANEL

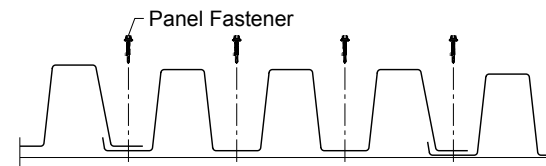
Condensed  
Technical  
Reference

## ATTACHMENT DETAIL



## FASTENING PATTERN

### Ends and Field of Panel



## FASTENER INFORMATION

Overdriven fasteners will cause panel distortion.

Panel fasteners should extend 1/2" or more past the inside face of the support material.

Thick panels (ex. 18 ga) or supports (ex. 1/2" steel) may require predrilling of holes for screws.

Panel Fastener:

Attaching to Wood:  
#10-14 XL Wood Screw

Attaching to Steel:  
#12-14 XL Self Drilling Screw

Trim Fastener:

1/8" x 3/16" Pop Rivet  
1/4"-14 x 7/8" XL Stitch Screw

## SECTION PROPERTIES

## ALLOWABLE UNIFORM LOADS, psf For various fastener spacings

Ga	Width in	Yield ksi	Weight psf	Top in Compression		Bottom in Compression		Inward Load						Outward Load					
				Ixx in <sup>4</sup> /ft	Sxx in <sup>3</sup> /ft	Ixx in <sup>4</sup> /ft	Sxx in <sup>3</sup> /ft	6'	7'	8'	10'	12'	14'	6'	7'	8'	10'	12'	14'
24	18	50	2.20	1.3140	0.4551	1.3407	0.5100	204	164	135	95	70	53	195	155	126	88	64	49
22	18	50	2.89	1.9713	0.7372	2.0093	0.8363	399	313	251	171	123	93	371	288	230	155	111	83
20	18	33	3.53	2.7927	1.1373	2.7073	1.1949	463	349	271	177	125	92	445	334	260	169	119	88
18	18	33	4.65	3.8467	1.6061	3.7453	1.6221	600	491	379	245	171	126	600	487	376	243	170	125

1. Theoretical section properties have been calculated per AISI 2012 'North American Specification for the Design of Cold-Formed Steel Structural Members'. Ixx and Sxx are effective section properties for deflection and bending.
2. Allowable loads are calculated in accordance with AISI 2012 specifications considering bending, shear, combined bending and shear and deflection. Allowable loads consider the 3 or more equal span condition. Allowable loads do not address web crippling, fasteners, support material or load testing. Panel weight is not considered.
3. Deflection consideration is limited by a maximum deflection ratio of L/180 of span.
4. Allowable loads do not include a 1/3 stress increase for wind.

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metalsales.us.com

Anchorage, AK 866.640.7663  
Bay City, MI 888.777.7640  
Deer Lake, PA 800.544.2577  
Denver, CO 800.289.7663

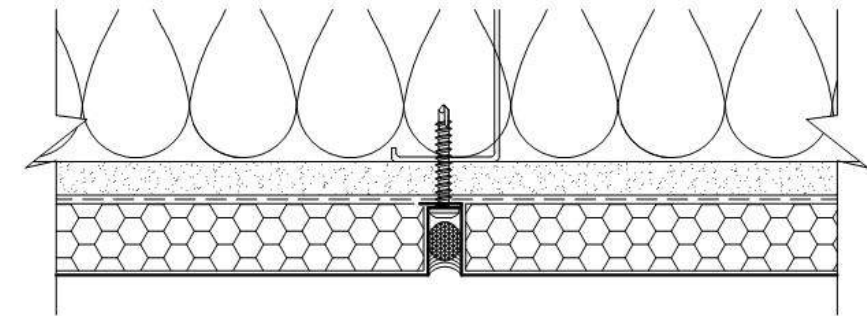
Detroit Lakes, MN 888.594.1394  
Fontana, CA 800.782.7953  
Fort Smith, AR 877.452.3915  
Independence, MO 800.747.0012

Jacksonville, FL 800.394.4419  
Jefferson, OH 800.321.5833  
Mocksville, NC 800.228.6119  
Nashville, TN 800.251.8508  
Rock Island, IL 800.747.1206  
Rogers, MN 800.328.9316

Seattle, WA 800.431.3470  
Sellersburg, IN 800.999.7777  
Sioux Falls, SD 888.902.8320  
Spokane, WA 800.572.6565  
Temple, TX 800.543.4415  
Woodland, CA 800.759.6019



# SKYCORE



## PRODUCT DESCRIPTION:

Skyline Sheet Metal SKYCORE wall cladding panels are formed from heavy gauge aluminum or sheet steel backed with an aluminum honey comb stiffening core. The panels are mechanically attached with #10x1" square drive tek screws over a weather barrier to the stud framing of the structural wall. A finished 1/2" joint reveal is sealed with Dow 791 silicone to achieve a virtually watertight exterior cladding.

## FEATURES and BENIFITS:

- Economical cost
- 20 year finish warranty
- Industry leading flatness and deflection control
- Lightweight

## MATERIAL and FINISH OPTIONS:

- Aluminum (.032-.040) Coil-coated Kynar 500 or Post-painted available in Std. and Custom colors
- Steel (22ga) Coil-coated Kynar 500 or Post-painted available in Std. and Custom colors
- Stainless Steel (22ga) Polished or Brushed
- Copper
- Zinc

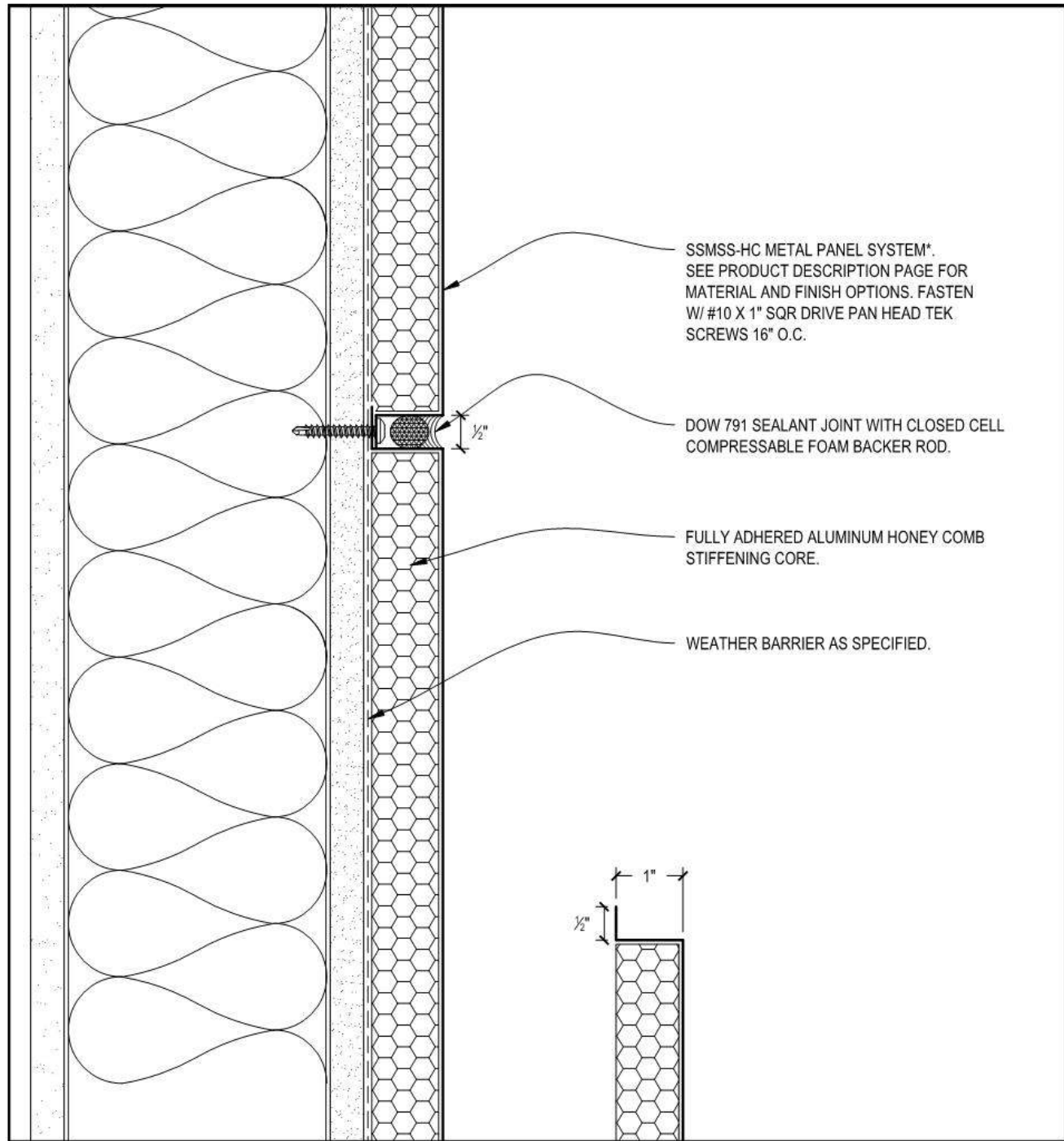
[www.skylinesheetmetal.com](http://www.skylinesheetmetal.com)  
 1535 NW SUNDIAL RD TROUTDALE, OR 97060 PHONE 503-669-1156 FAX 503-666-8189



**FREMONT APARTMENTS**  
lincoln property company

DESIGN REVIEW # LU 16-278621 DZ GW

CUTSHEET - COMPOSITE METAL PANEL **C.103**

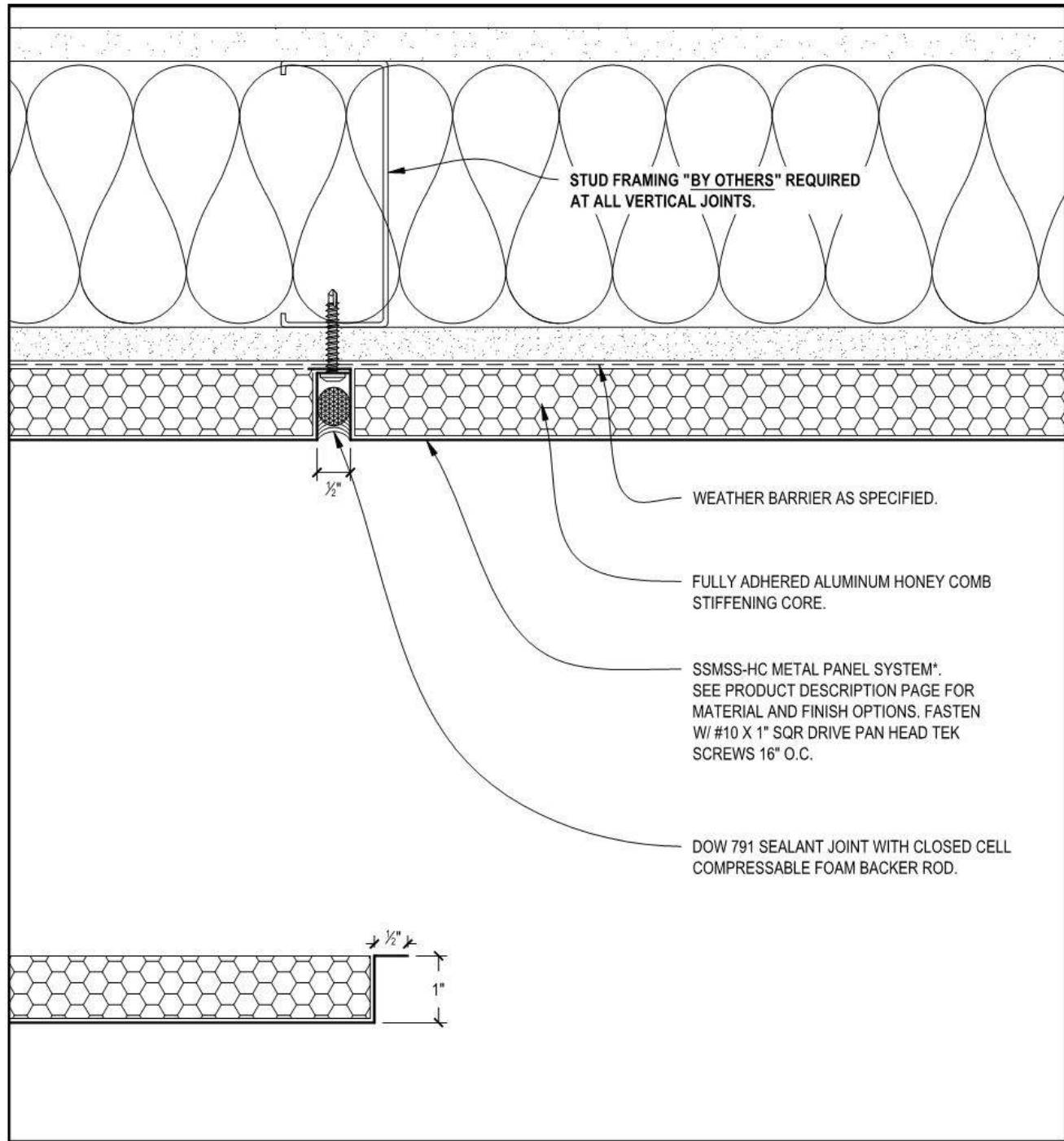
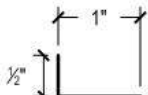


SSMSS-HC METAL PANEL SYSTEM\*.  
SEE PRODUCT DESCRIPTION PAGE FOR  
MATERIAL AND FINISH OPTIONS. FASTEN  
W/ #10 X 1" SQR DRIVE PAN HEAD TEK  
SCREWS 16" O.C.

DOW 791 SEALANT JOINT WITH CLOSED CELL  
COMPRESSABLE FOAM BACKER ROD.

FULLY ADHERED ALUMINUM HONEY COMB  
STIFFENING CORE.

WEATHER BARRIER AS SPECIFIED.



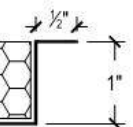
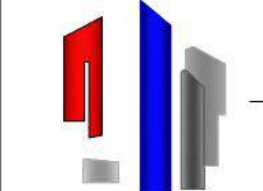
STUD FRAMING "BY OTHERS" REQUIRED  
AT ALL VERTICAL JOINTS.

WEATHER BARRIER AS SPECIFIED.

FULLY ADHERED ALUMINUM HONEY COMB  
STIFFENING CORE.

SSMSS-HC METAL PANEL SYSTEM\*.  
SEE PRODUCT DESCRIPTION PAGE FOR  
MATERIAL AND FINISH OPTIONS. FASTEN  
W/ #10 X 1" SQR DRIVE PAN HEAD TEK  
SCREWS 16" O.C.

DOW 791 SEALANT JOINT WITH CLOSED CELL  
COMPRESSABLE FOAM BACKER ROD.

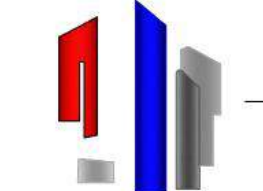
SKYLINE SHEET METAL  
1535 NW SUNDIAL RD TROUTDALE, OR 97060 PHONE 503-669-1156 FAX 503-666-8189

DATE: 01-01-2010 DRAWN: JASON YORK

SKYLINE TYPICAL HORIZONTAL JOINT  
SCALE: 6" = 1'-0" SECTION VIEW

SKYCORE PANEL SYSTEM

SHEET 1



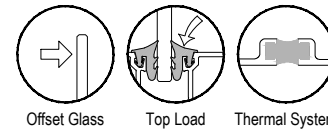
SKYLINE SHEET METAL  
1535 NW SUNDIAL RD TROUTDALE, OR 97060 PHONE 503-669-1156 FAX 503-666-8189

DATE: 01-01-2010 DRAWN: JASON YORK

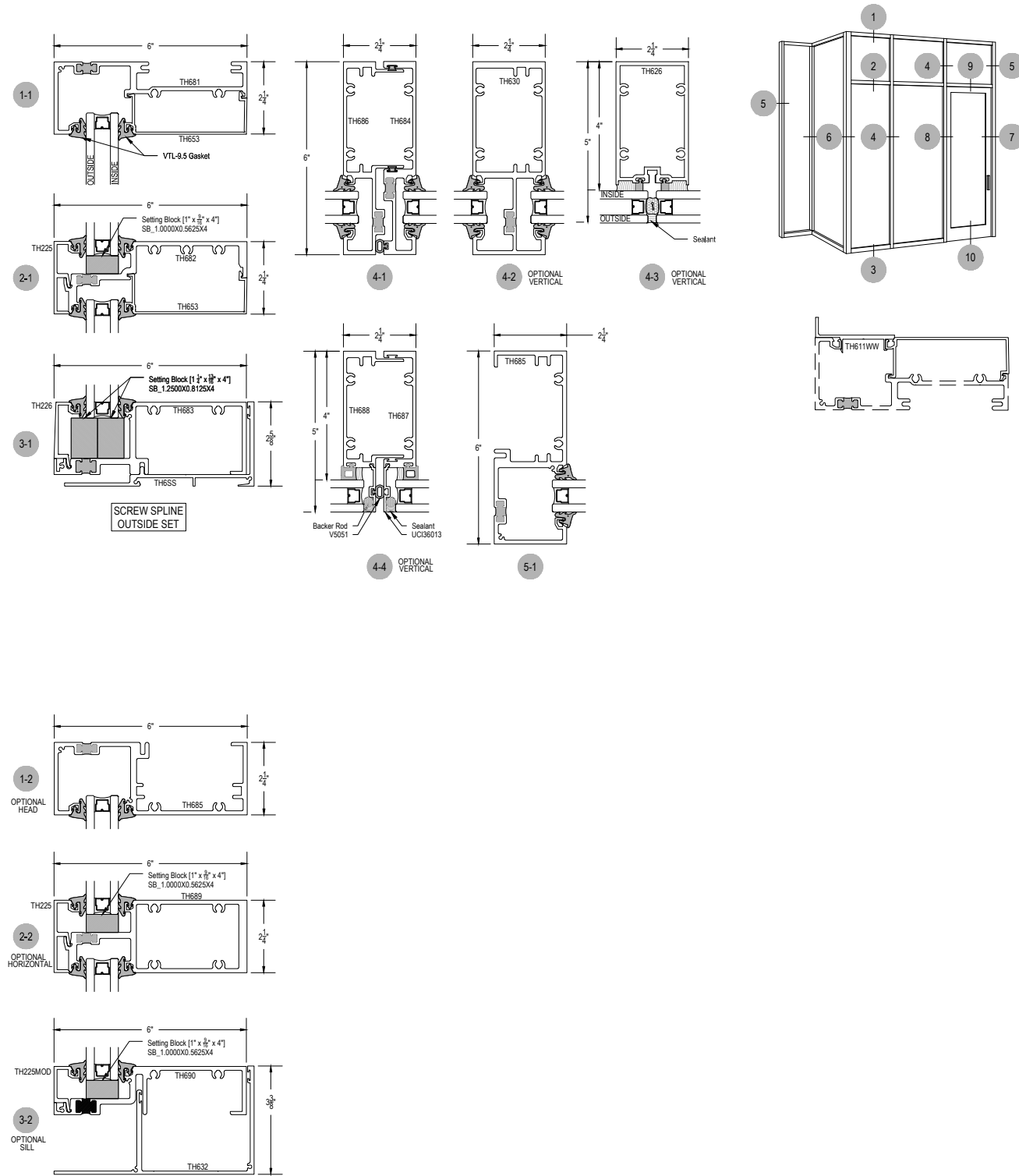
SKYLINE TYPICAL VERTICAL JOINT  
SCALE: 6" = 1'-0" PLAN VIEW

SKYCORE PANEL SYSTEM

SHEET 2



**UW670T Series**  
 Description: 2 1/4" X 6" Offset Glazed For 1" Glass  
 Function: Unitized Wall System  
 Detail: Horizontals, Verticals  
 Scale: 3" = 1'-0" SHEET 1 OF 1



FRAMING-ARCADIA-THERMAL-UW670T-ALL-SERIES.pdf

As of: 09/04/14

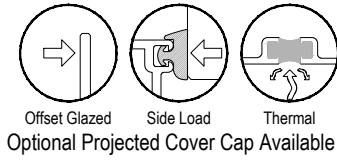
Canadian Building Envelope Science and Technology  
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 REPORT NO.: 106-010-1853  
 VERIFIED BY: [Signature]  
 DATE: NOV 29 2006

TRANSOM OR HORZ. MULLION

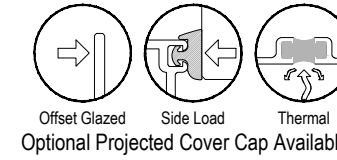
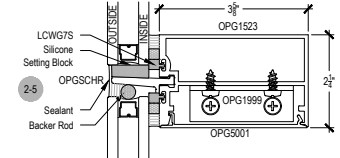
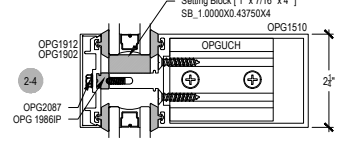
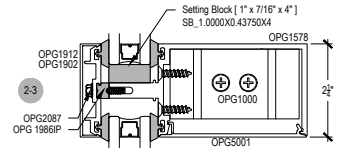
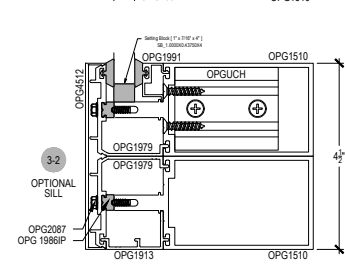
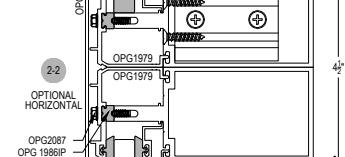
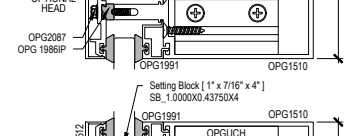
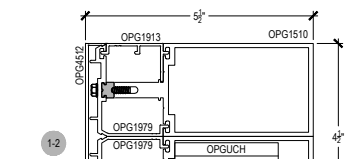
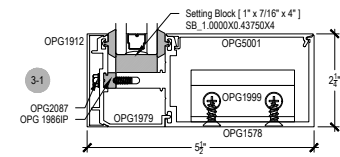
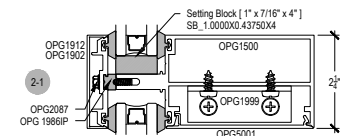
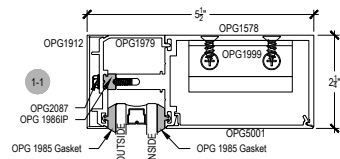
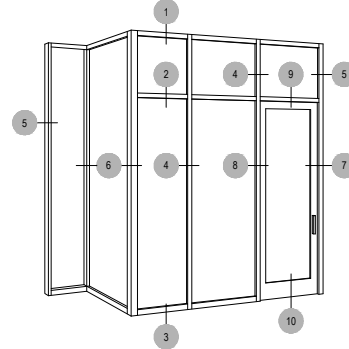
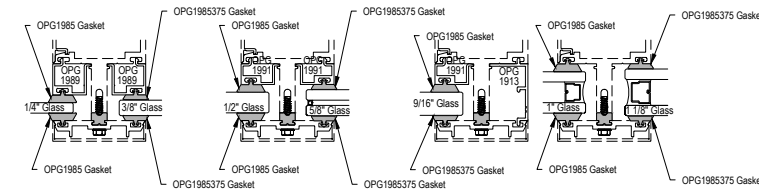
DETAIL A-A

 COMMERCIAL INDUSTRIAL RESIDENTIAL 330 APPLEWOOD DRIVE CONCORD, ONT. CANADA L4K 4V2 TEL: (416) 665-7864 FAX: (905) 738-5481	PROJECT TITLE: 165 SERIES LOUVRE AIR PERFORMANCE TEST, AMCA 500-L-99	CAD FILE: Q:\NEW LIBRARY CAD DETAILS LOUVRES
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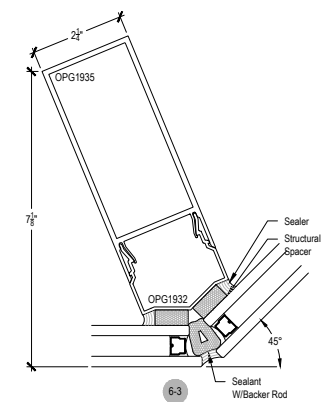
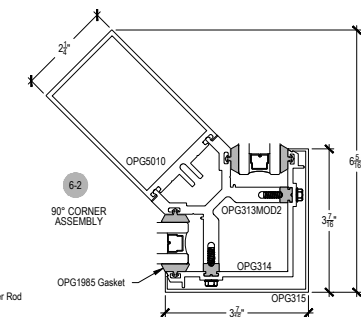
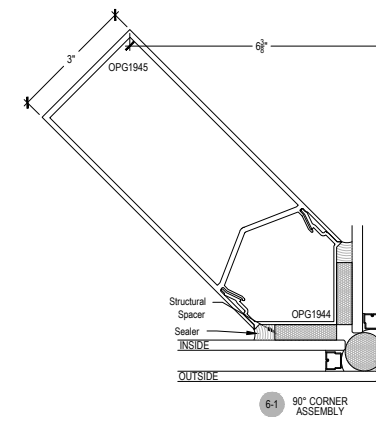
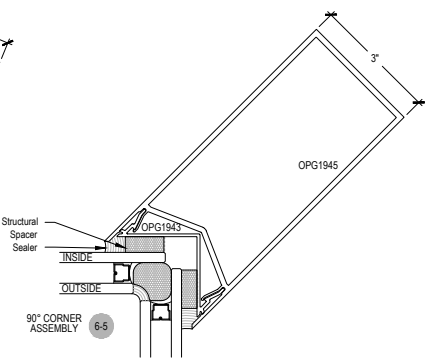
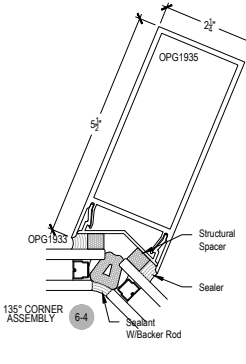
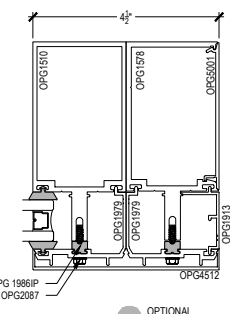
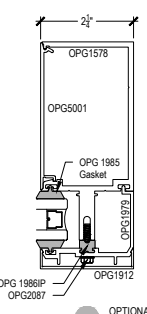
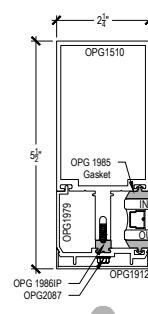
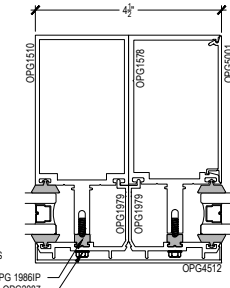
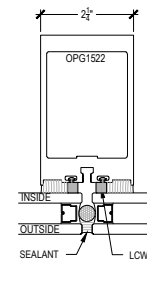
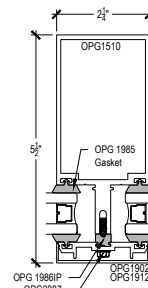
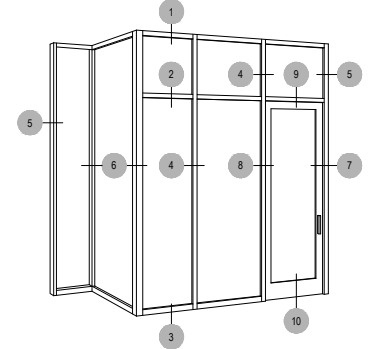
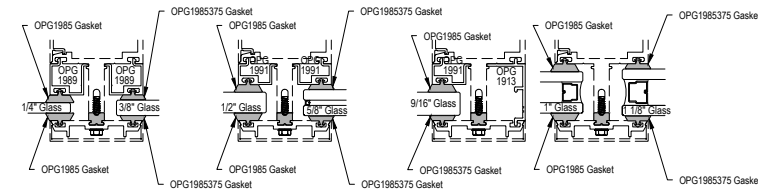




**T500 (OPG1500) Series**  
 Description: 2 1/4" X 5 1/2" With 1/4" - 1 1/8" Glass  
 Function: Curtain Wall  
 Detail: Horizontals  
 Scale: 3" = 1'-0" SHEET 1 OF 3



**T500 (OPG1500) Series**  
 Description: 2 1/4" X 5 1/2" With 1/4" - 1 1/8" Glass  
 Function: Curtain Wall  
 Detail: Verticals  
 Scale: 3" = 1'-0" SHEET 2 OF 3



# SPIRAL<sup>®</sup> LH<sup>®</sup>

HIGH PERFORMANCE LOW HEADROOM ROLLING DOOR

## High Security, High Speed, Designed for Applications with Low Headroom

With an opening speed of up to 60 inches per second, the Spiral Low Headroom (LH) door offers the speed you need for high-traffic situations while meeting the low headroom requirements of parking garages and other commercial structures. Rigid, aluminum slat construction eliminates any need for a second overnight security door and the rubber weatherseal provides a tight seal.

Crisp lines give the Spiral LH door a stylish look that's great for all kinds of parking and other commercial, institutional and residential applications. Because its anodized aluminum slats will not corrode, you can count on that look to last for many years even under the worst weather conditions.



**High Security** - Rigid, aluminum slat construction and optional, integral locking system provides unparalleled security.

**Low Headroom** - The low lintel design requires only 11 inches of headroom clearance.

**Whisper Quiet** - The unique roll-up design features no metal-to-metal contact, therefore offering whisper-quiet operation.

**High Performance** - The variable speed AC Drive system with soft acceleration and braking smooths out routine stops and starts, virtually eliminating the clunking gear engagements associated with typical overhead door operation.

**Energy Efficient and Tight Seal** - Aluminum slats, along with a durable rubber membrane which covers their aluminum connecting hinges, provide a 100% seal against dust pollution, drafts, and inclement weather. Optional insulation simply adds to the energy savings.



# SPIRAL<sup>®</sup> LH<sup>®</sup>

HIGH PERFORMANCE LOW HEADROOM ROLLING DOOR

### Model Name

- Ryttec<sup>®</sup> Spiral<sup>®</sup> LH<sup>®</sup> Door

### Size and Dimensions

- Up to 19'8"W x 16'4"H
- Multiple door configurations based on door size.

### Safety

- Thru-beam photo eyes
- Control-reliable electronic reversing edge

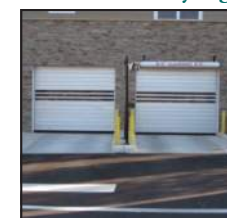
### Available Options

- Vision slats
- Insulated slats
- Ventilated slats

### Warranty

- Five-year limited warranty on mechanical components.
- Two-year limited warranty on electrical components.

### Architectural Styling

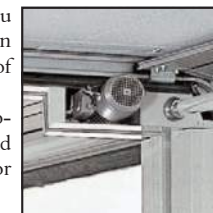


Shown with optional vision slats

- Double walled aluminum slats are 6 inches high with an integral weatherseal between each panel.
- Slats are available in anodized aluminum or optional custom paint colors.

### Unique Track Design

- Special track design allows you to fit the low headroom door in areas with as little as 11 inches of clearance above door opening.
- Compact, variable speed motor with soft acceleration and deceleration and braking for smooth starts and stops.

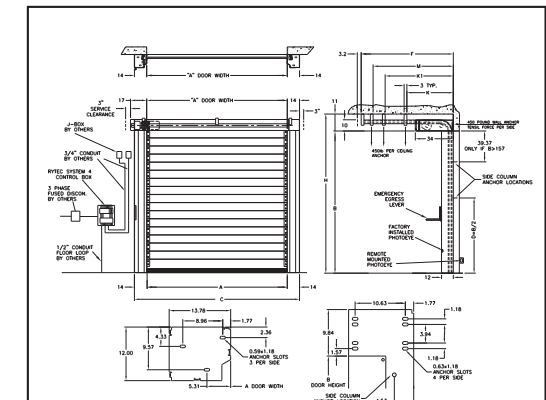


### Electrical Controls



System 4 shown with optional rotary disconnect

- System 4<sup>™</sup> controller housed in a NEMA 4X rated enclosure with factory set parameters.
- Intelligent processor monitors and controls power consumption.
- Advanced self-diagnostics for troubleshooting.



### Panel Design

- Integral rubber weatherseal between the slats provides a tight weatherseal across the entire panel.
- Rubber weatherseal is replaceable for easy maintenance.
- Patented hinge design allows for removal and replacement of single slat without disassembling the door panel.



Integral rubber weatherseal

### Counterbalance System

- Up to six extension springs in each side column, depending on the size of the door.
- The springs assist the motor in opening, reducing motor wear and increasing the longevity of mechanical components.
- Mechanical egress lever on the side column allows the door to be opened in the event of a power failure.

### Travel Speed

- Opens at up to 60 inches per second.



Specifications subject to change ©Ryttec Corporation LIT030713



FREMONT APARTMENTS  
lincoln property company

DESIGN REVIEW # LU 16-278621 DZ GW

CUTSHEET - GARAGE DOOR C.107



VERTICAL+  
**NO SCRATCH**<sup>®</sup>  
BIKE RACK SYSTEM



**BIKE FRIENDLY:** Integrated and proprietary No Scratch<sup>®</sup> bumper, made from durable polyurethane, protects bikes from scratches while parked.

**MODULAR:** Endless configurations and mounting options ensure maximum space efficiency. Available in floor and wall mount styles.

**FUNCTIONAL:** Easy to use, keeps bikes organized and aisle ways clear. Gear hook for added convenience.

**INTELLIGENT:** Smart design and user features include square tubing and U-lock compatibility. Locking cable available for added security.



Vertical+ No Scratch <sup>®</sup> Bike Rack System	Floor Mounted		Wall Mounted	
	Single Sided	Double Sided	Single	Multi
<b>Specifications</b>				
Length	40.8" - 134.8"	40.8" - 134.8"	9"	36.8" - 130.8"
Width <sup>1</sup>	34"	55"	28"	31"
Width With Bikes	47"	82"	40"	43"
Height	84"	84"	84"	84"
Spacing Between Bikes <sup>3</sup>	13", 16" or 18"	13", 16" or 18"	Minimum 13"	13", 16" or 18"
No Scratch <sup>®</sup> Bumper <sup>4</sup>	Yes	Yes	Yes	Yes
Lock Compatible	U-lock & Cable	U-lock & Cable	U-lock & Cable	U-lock & Cable
Lock Accessory	Heavy Duty Cable	Heavy Duty Cable	Heavy Duty Cable	Heavy Duty Cable
Material Options	Mild Steel	Mild Steel	Mild Steel	Mild Steel
Mounting Options	Surface	Surface	Wall	Wall
Finish & Coating Options <sup>5</sup>	Various	Various	Various	Various
Capacity <sup>6</sup>	2-9 Bikes	4-18 Bikes	1-Unlimited Bikes	3-9 Bikes
Warranty	1 Year	1 Year	1 Year	1 Year
<b>Ordering Info</b>				
Lead Time <sup>7</sup>	15 Days	15 Days	15 Days	15 Days

Our Vertical+ No Scratch<sup>®</sup> racks are created to provide designers, planners and end users a smart solution for high density bike parking. We offer these racks in a floor mount and wall mount system that provide the ability to accommodate a wide range of bikes in a wide range of spaces. All of our Vertical+ No Scratch<sup>®</sup> Racks feature exclusive anti-theft hardware and additional important design features such as a no-sag truss and square tube construction.

- Notes:**
- Width includes mounting foot.
  - 84" Minimum recommended height for wall mounted racks. Height is adjustable.
  - Combine units to customize spacing, user configurable.
  - Optional No Scratch<sup>®</sup> Bumper made from polyurethane protects bikes while parked.
  - Finish and Coating Options include: powder coat and plascoat PPA-571. Powder coating is available in a variety of colors and subject to minimum lot charges.
  - Capacities listed are per unit. Combine units to create unlimited capacity.
  - Lead times may vary for custom colors.

(888) 661-0555 | info@sportworks.com | www.sportworks.com

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Bike racks, lockers, benches and architectural site furnishings since 1980.

PHONE 503.224.8700  
FAX 503.274.2055

EMAIL Sales@Huntco.com  
WEB Huntco.com  
TWITTER @Huntcosupply

MAIL P.O. Box 10385  
Portland, Or. 97296-0385



**THE ARC**

The Arc rack, a sleek, modern curve that won't overwhelm other architectural elements.

**CONSTRUCTION/MATERIAL**

- 1.50" Steel Tubing
- 4" Steel Flanges

**DIMENSIONS**

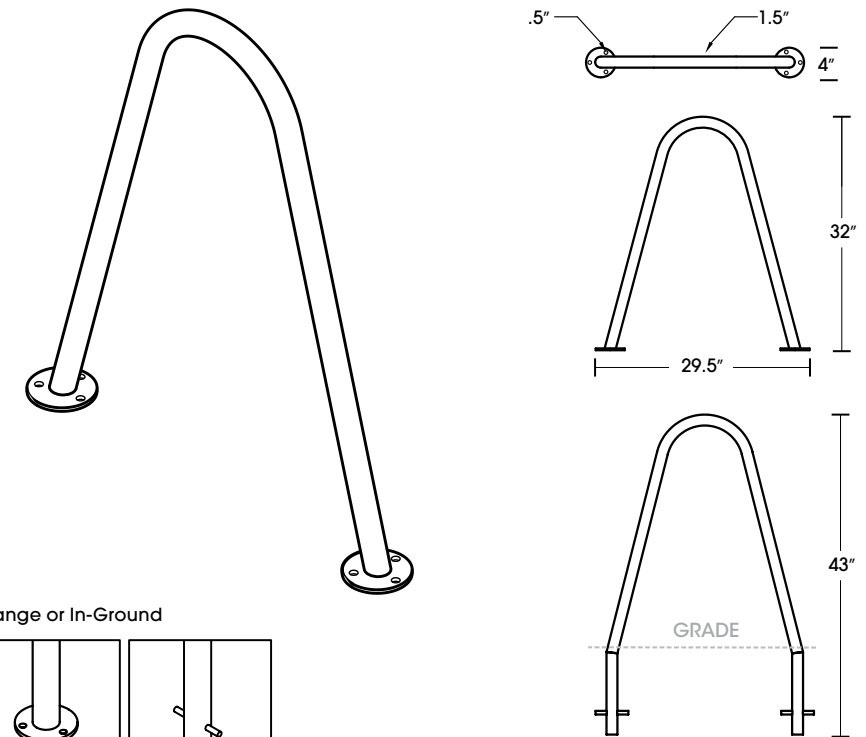
- 29.5" Length
- 4" Width
- 32" Height

**MOUNTING OPTIONS**

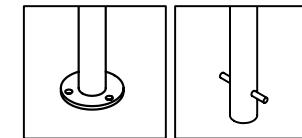
- Flange Mount (Shown) (6) .5" Mounting Holes
- In-Ground (11" Leg Extensions)

**FINISH OPTIONS**

- T304 Stainless Steel
- #4 Satin Finish
- Hot Dipped Galvanized
- Powder Coating
- Thermoplastic Coating



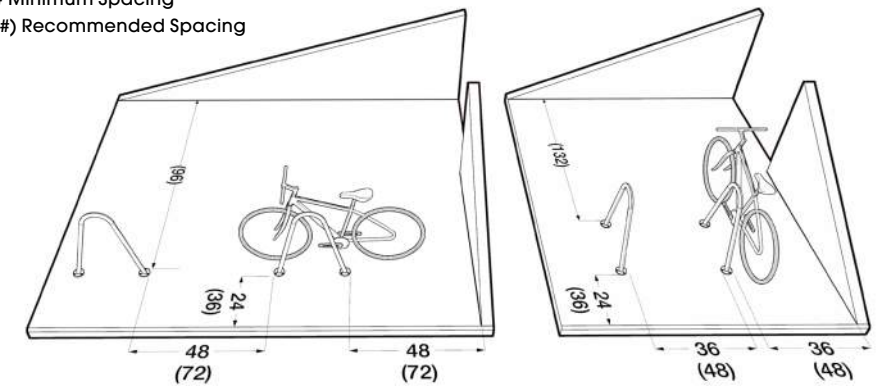
Flange or In-Ground



**RECOMMENDED LAYOUT**

**NOTES:**

- "Bike" is 70"
- # Minimum Spacing
- (#) Recommended Spacing



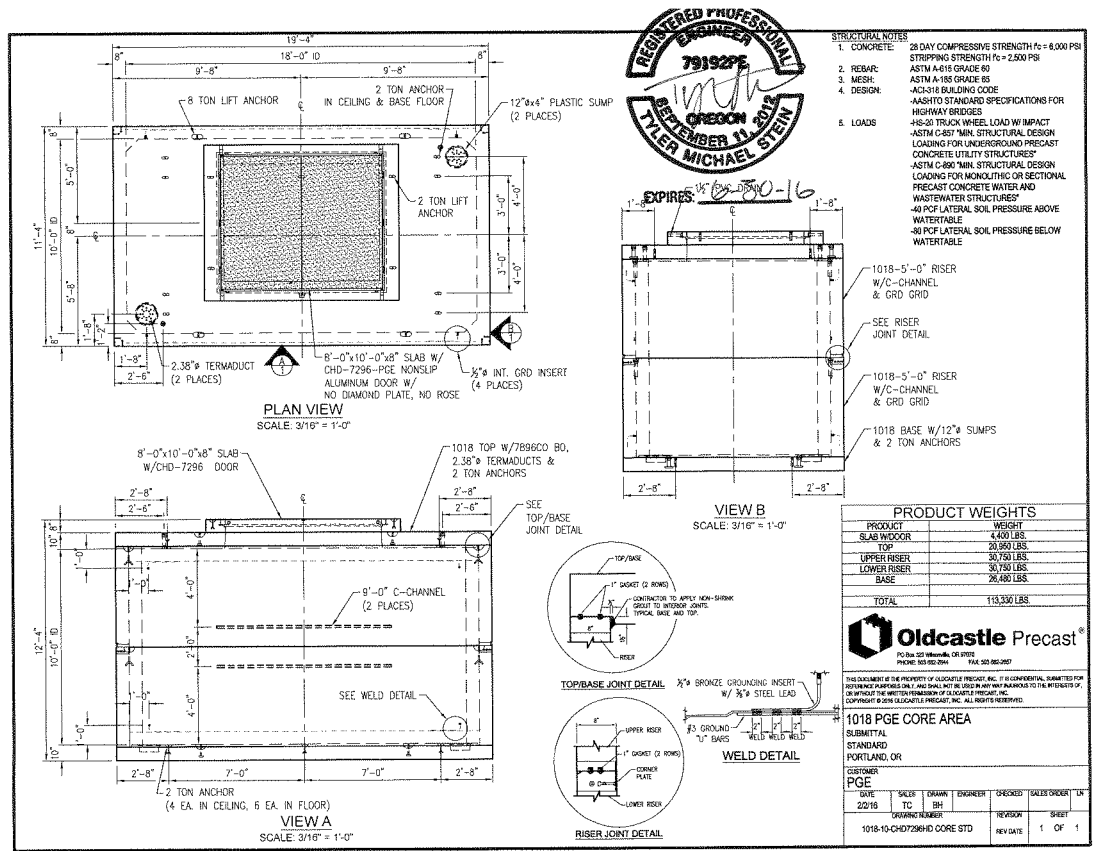
**CONTRACTOR:**

**JOB:**

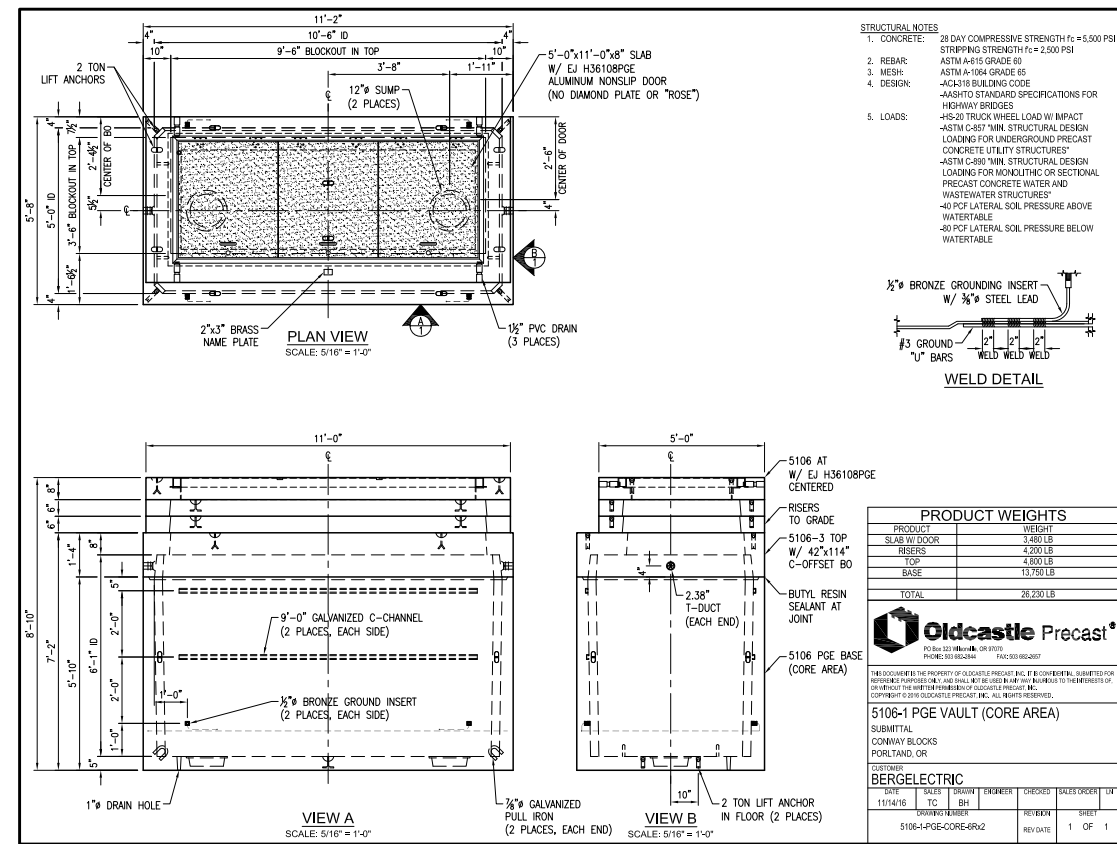
**NOTES:**



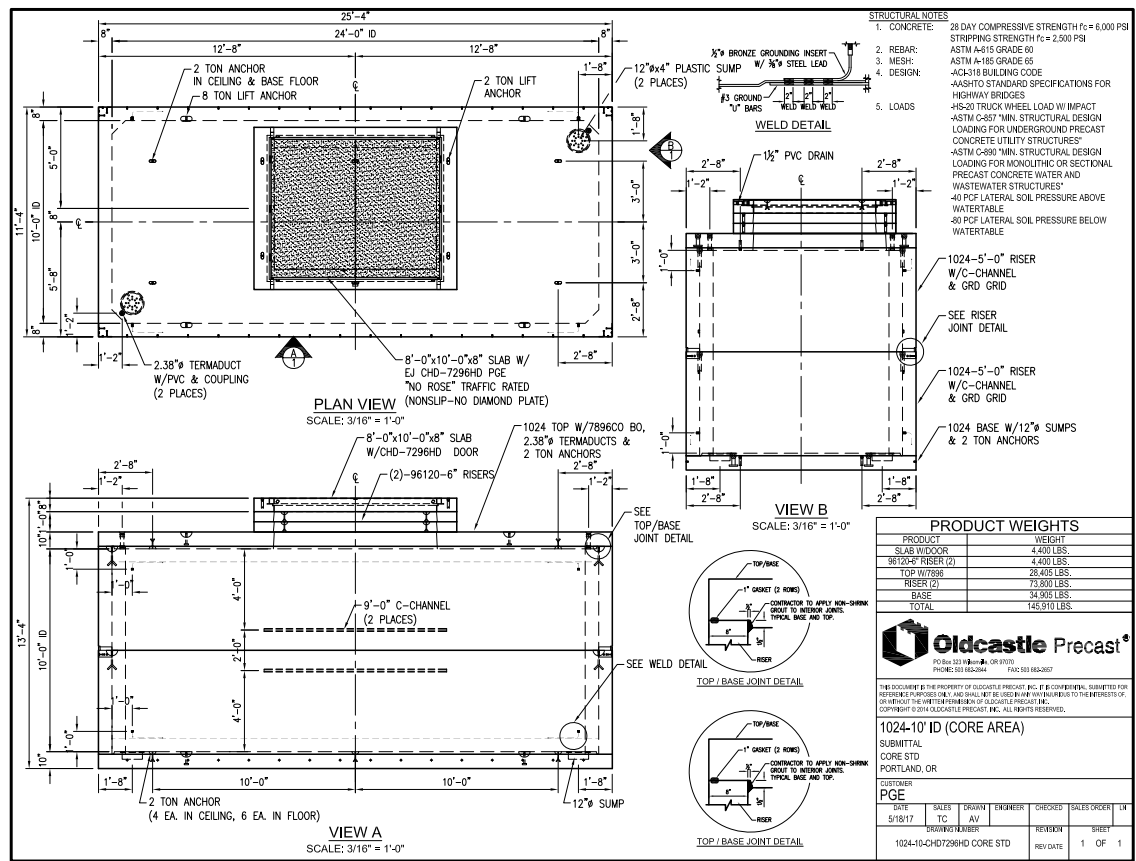
Manufactured in the Pacific Northwest



TRANSFORMER - 1



TRANSFORMER - 2



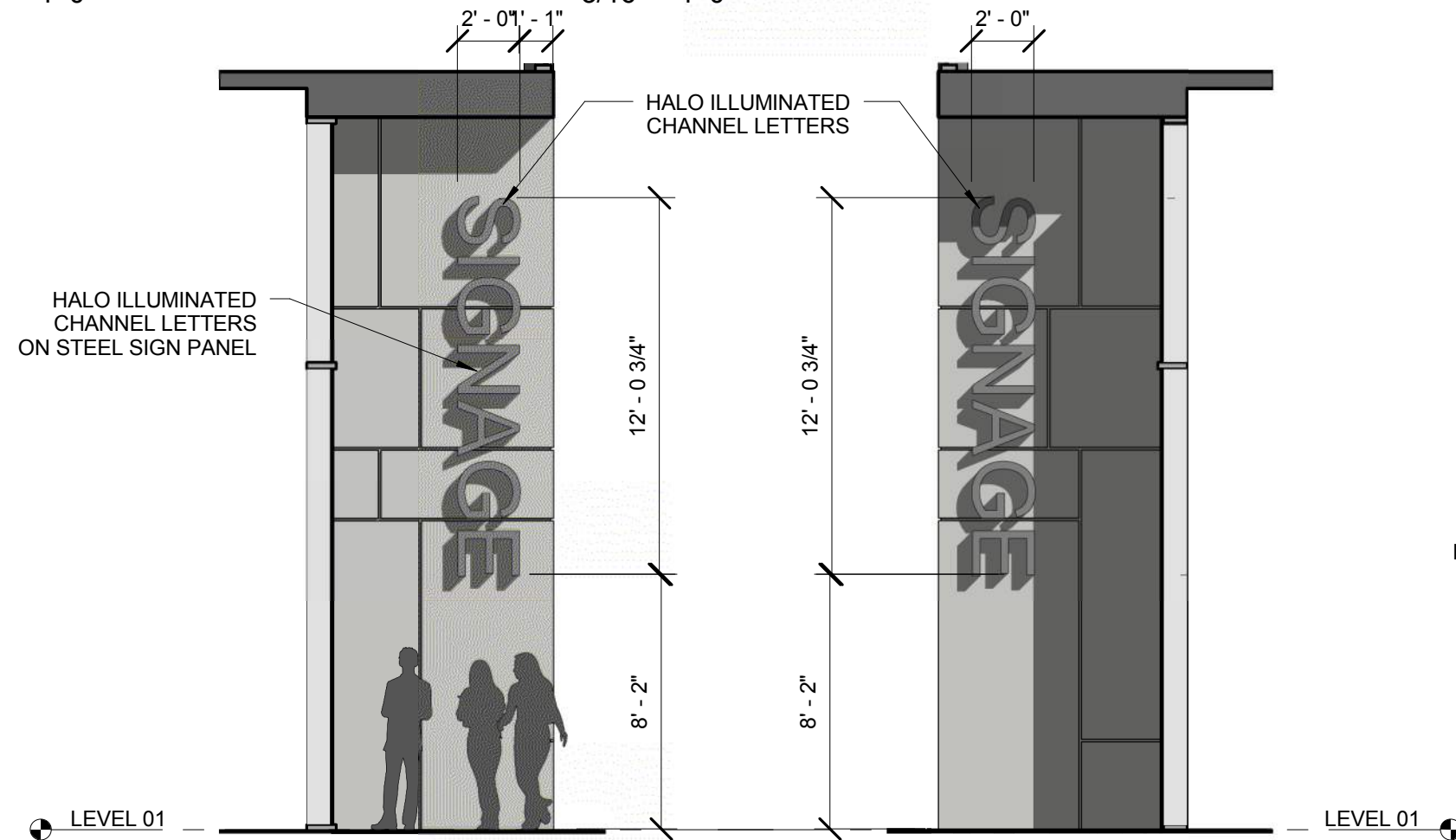
TRANSFORMER - 3



① RESTAURANT ENTRANCE SIGNAGE  
3/16" = 1'-0"

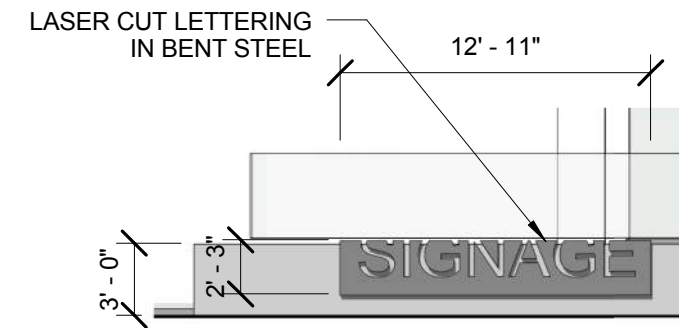
② BUILDING ADDRESS SIGNAGE - NORTH  
3/16" = 1'-0"

③ BUILDING ADDRESS SIGNAGE - WEST  
3/16" = 1'-0"



④ BUILDING SIGNAGE 1 - WEST  
3/16" = 1'-0"

⑤ BUILDING SIGNAGE 2 - WEST  
3/16" = 1'-0"



⑥ SIGNAGE AT CURB PLANTER - WEST  
1/8" = 1'-0"

