



 HAMMER & HAND

Holst Architecture for Hammer & Hand

Type III Design Review, LU No. 16-236871 HR

Submitted September 02, 2016

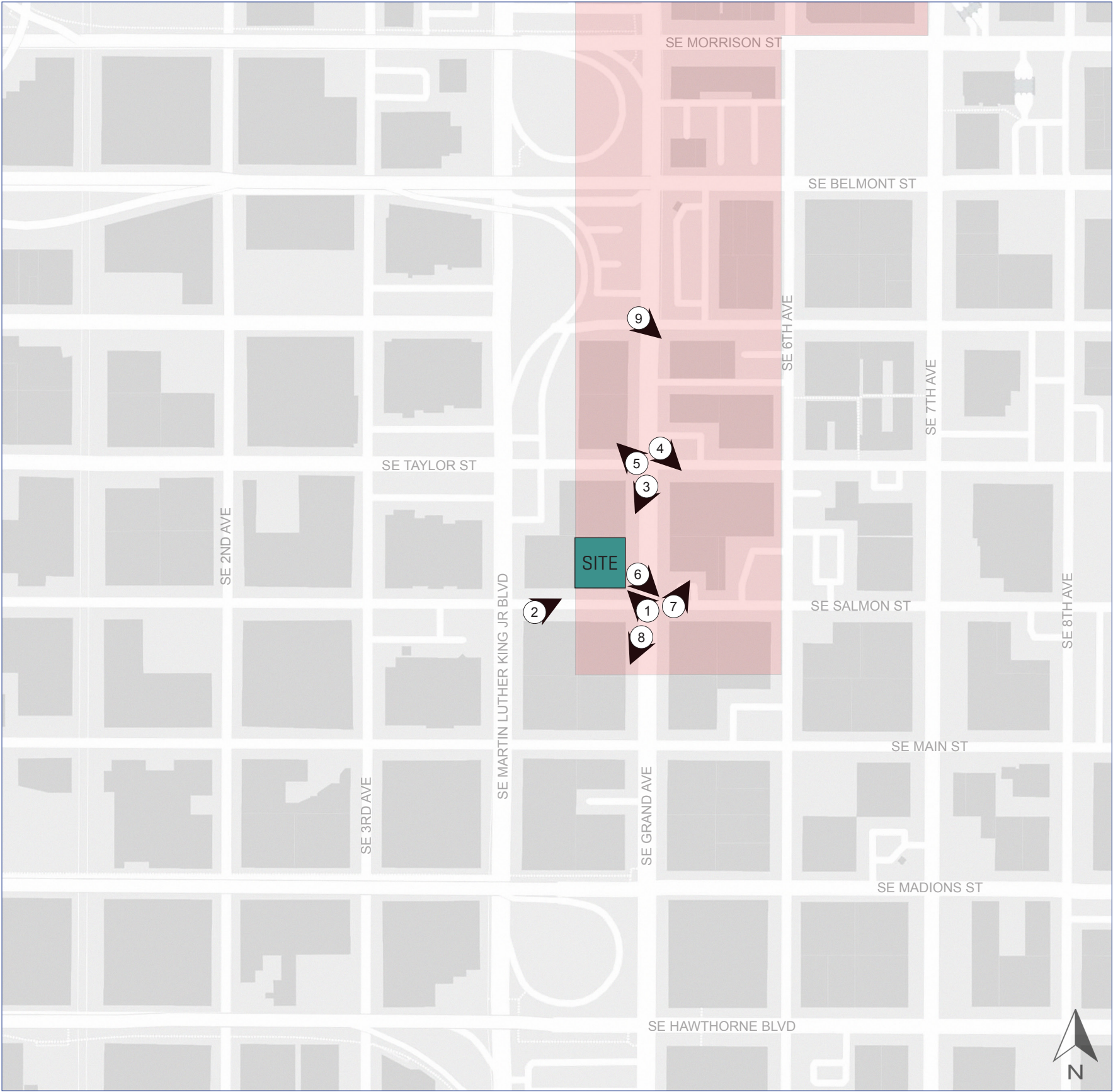
Revised April 13, 2017

OVERVIEW			INFORMATION		
C.6	Vicinity Map		EA#:	16-168645	
C.7	Site Photos		LU#	16-236871 HR	
C.8	Site Conditions		PROPERTY:	1135 SE Grand Ave	
C.9	Historic District		RE:	App. for a Type III Design Review	
C.10	Site Plan & Zoning Analysis		ORIGINALLY SUBMITTED:	September 02, 2016	
C.11	Zoning Analysis		REVISED:	April 13, 2017	
C.12	Building Concept		REVISED:		
C.13	Building Concept				
PROJECT			ARCHITECT:	Holst Architecture	
C.16	Perspective View		CONTACT:	Cory Hawbecker, Senior Associate chawbecker@holstarc.com 503 233 9856	
C.17	Perspective View, Night				
C.18	Perspective View				
C.19	Perspective View				
C.20	First Floor Plan		LANDSCAPE:	Lango Hansen Landscape Architects	
C.21	Second Floor Plan		CONTACT:	Jane Hansen, Principal jane@langohansen.com 503 295 2437	
C.22	Roof Plan				
C.23	Not Used				
C.24	Building Sections				
C.25	Building Sections		CIVIL:	KPFF	
C.26	Building Elevations	ROW STANDARDS	CONTACT:	Josh Lighthipe josh.lighthipe@kpff.com 503 542 3860	
C.27	Building Elevations				
C.28	Energy Goals	C.46			
C.29	View Dynamic Glass Renderings	C.47			
C.30	Elevations & Wall Sections	C.48			
C.31	Details		OWNER:	Ligno LLC	
C.32	Elevations & Wall Sections		CONTACT:	Casey McKenna, Project Supervisor casey@hammerandhand.com 503 232 2447	
C.33	Details	APPENDIX			
C.34	Elevations & Wall Sections				
C.35	Wall Sections	C.52			
C.36	Building Signage Details	C.53			
C.37	Lighting Plan	C.54			
C.38	Roof Deck Planting Plan	C.55			
C.39	Roof Terrace Elevation	C.56			
C.40	Planting Plan	C.57			
C.41	Planting Details	C.58			
C.42	Roof Deck Renderings	C.59			
C.43	Planting Palette				

CONTENT

OVERVIEW

C.6	Vicinity Map
C.7	Site Photos
C.8	Site Conditions
C.9	Historic District
C.10	Site Plan & Zoning Analysis
C.11	Zoning Analysis
C.12	Building Concept
C.13	Building Concept



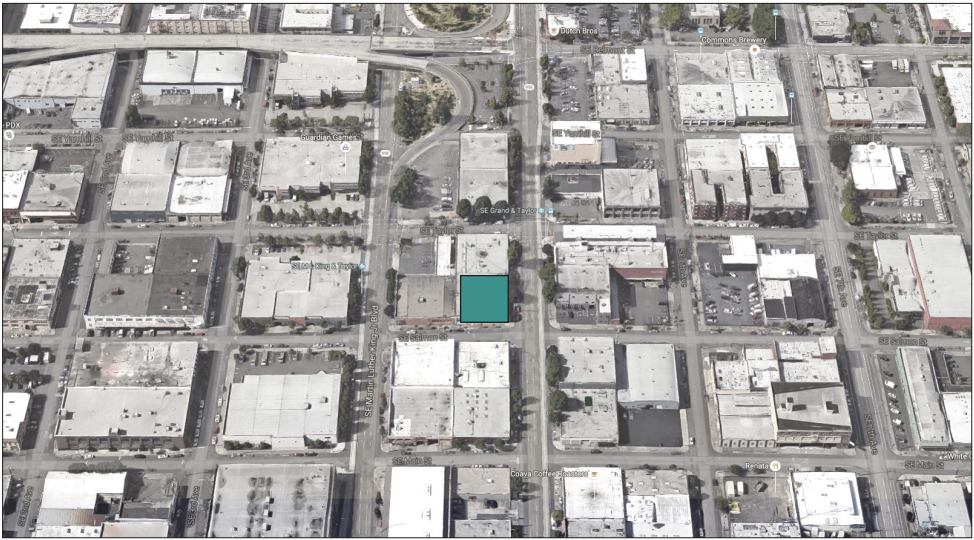
VICINITY MAP

The project site sits within the East Portland Grand Avenue Historic District on the NE corner of the intersection of SE Salmon St and SE Grand Avenue, currently occupied by a one story concrete structure constructed in 1924. The structure has been deemed Historic but non-contributing. The site is directly adjacent to one-story structures along the north and east property lines. The majority of the buildings in the immediate vicinity are two and three stories tall.

The existing right of way consists of a 12'-0" sidewalk with two curb cuts on Grand and one on Salmon. There are no historic features or street embellishments in the right of way other than two twin-ornamental streetlights on Grand Avenue.

The access roads onto and off of the Morrison Bridge are three and four blocks north of the site. The block is sandwiched between SE Grand Ave and SE Martin Luther King Jr Blvd, both transit streets. The street to the north of the block, SE Taylor, is a neighborhood greenway.

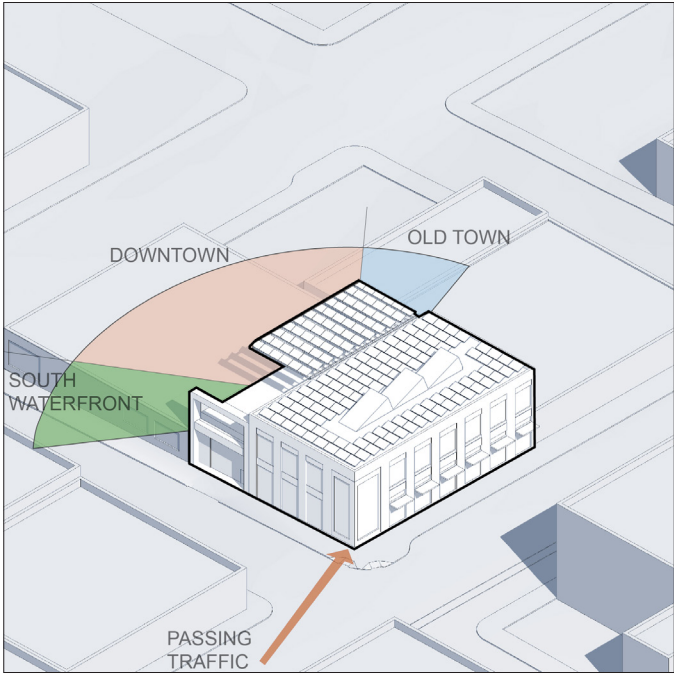
The river and the Eastside Esplanade is five blocks to the west of the site, accessible via SE Salmon Street. Partial views of the skyline can be seen looking west down Salmon because of the low character of the buildings in the surrounding eastside industrial zone.



CONTEXT: VICINITY MAP

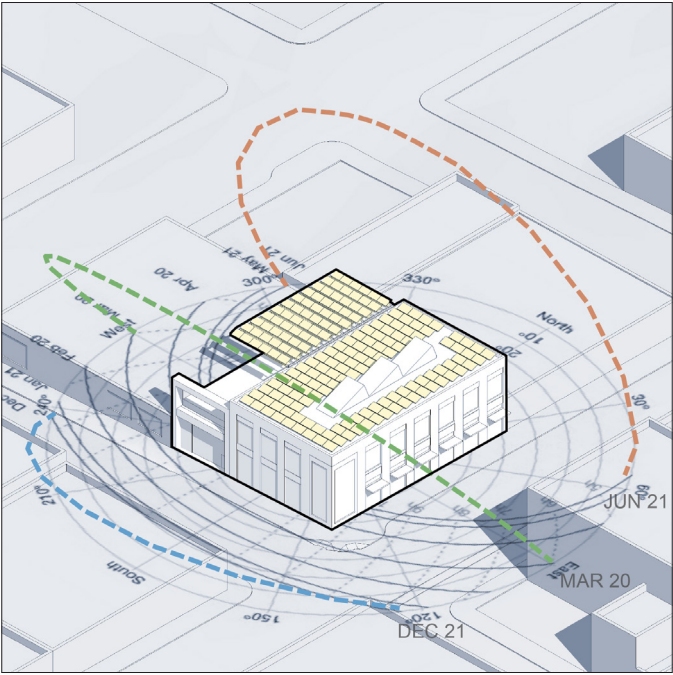


CONTEXT: SITE PHOTOS



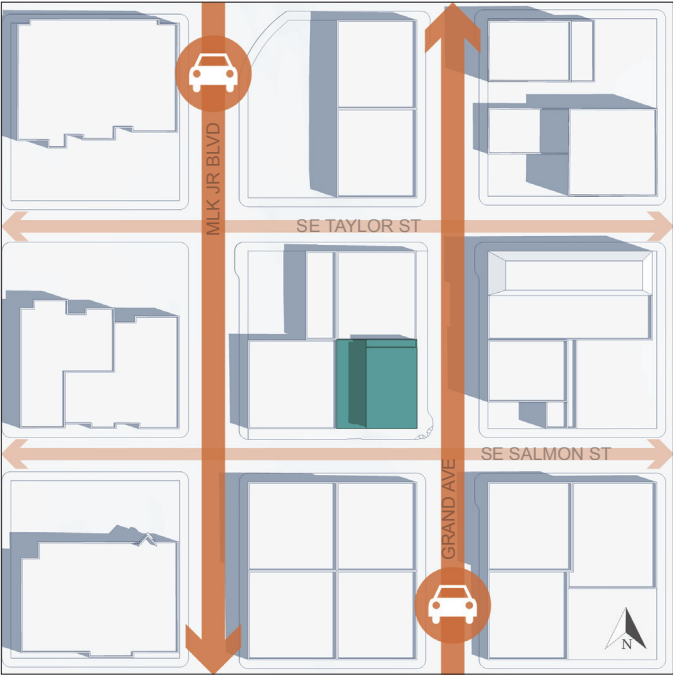
VIEWS

Above the one story level are panoramic views of the Portland Skyline and the Willamette River.



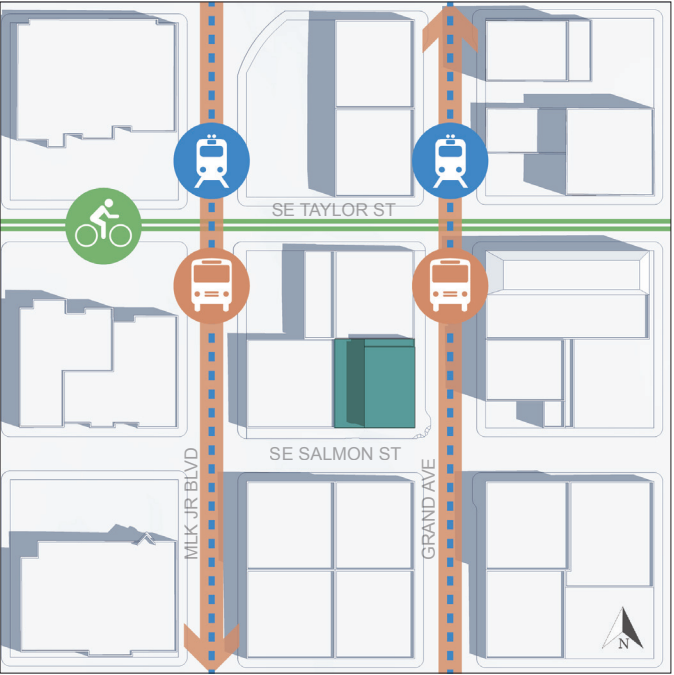
SOLAR ACCESS

The site has good solar access to the south, and to the east and west above the 1st floor. Future development around the site could severely impact solar access.



TRAFFIC

The site faces SE Grand Avenue, which accommodates approximately 50,000 vehicles every day.



TRANSIT

The site is served by streetcar and bus, and is adjacent to a Neighborhood Greenway.

CONTEXT: SITE CONDITIONS

GRAND AVE HISTORIC DISTRICT

The site is located near the southern edge of the East Portland Grand Avenue Historic Design Zone. The district is listed on the National Register of Historic Places, and includes approximately twenty city blocks within the Central Eastside Industrial District. The majority of the structures in the district are commercial buildings rising two or three stories. The historic period of significance for the district is 1883 through 1930, buildings designated as “primary” contributing properties were constructed prior to 1915. Buildings designated as “secondary” contributing properties were constructed between 1916 and 1930. Buildings designated as “non-contributing” were constructed within the period of significance but have been modernized or altered beyond their historic identity.



Lipman Wolfe Warehouse
Contributing



Osborn Hotel
National Register Historic



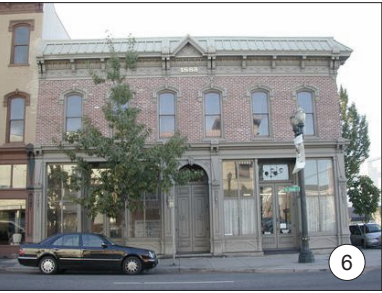
Grand Oak Apartments
Contributing



Barber Block
National Register Historic



New Logus Block
National Register Historic



West's Block
National Register Historic



Weatherly Building
Contributing



Paul Schuele Building
Contributing



US Laundry Building
Contributing



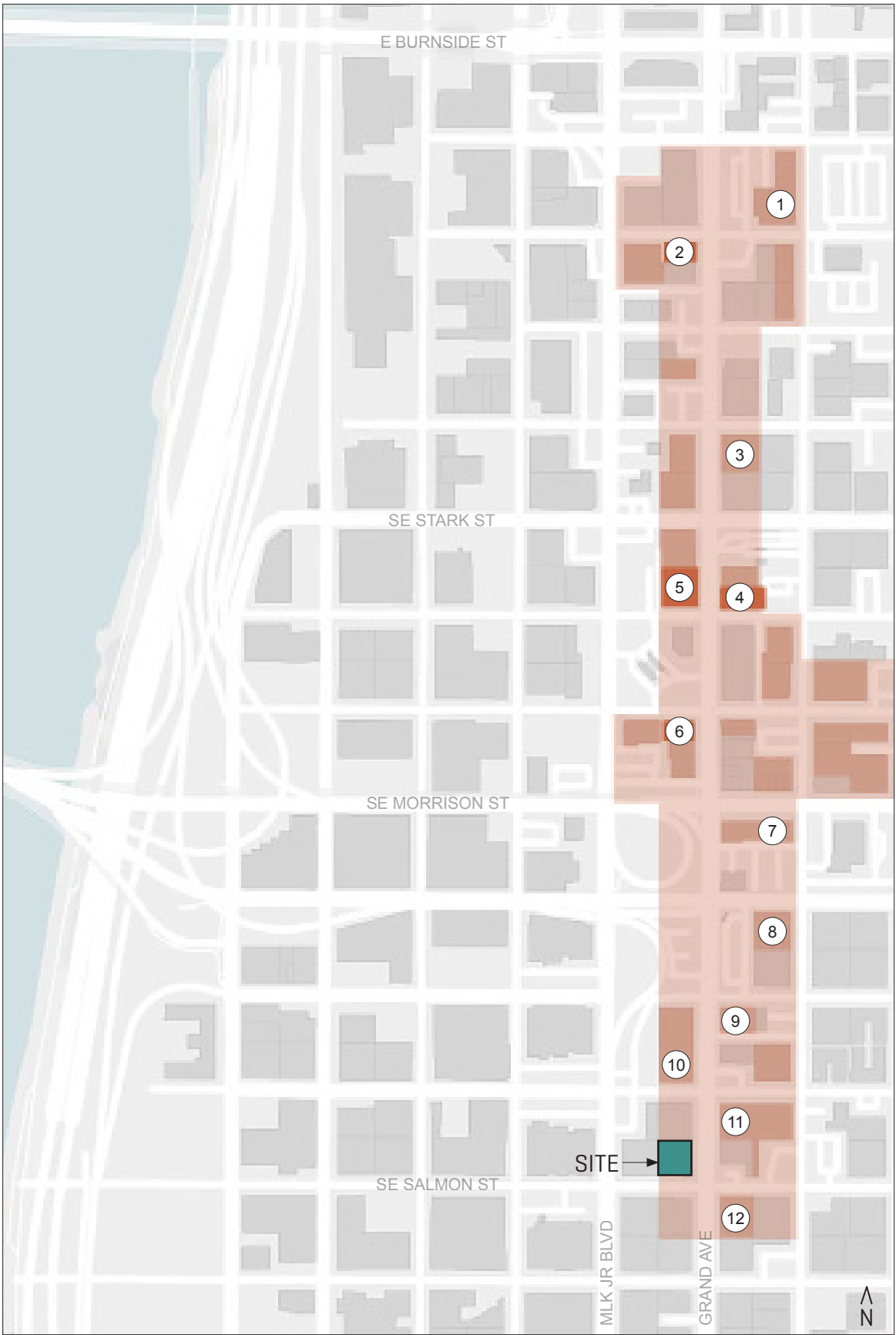
Paquet Building
Contributing



Neustadter Building
Contributing

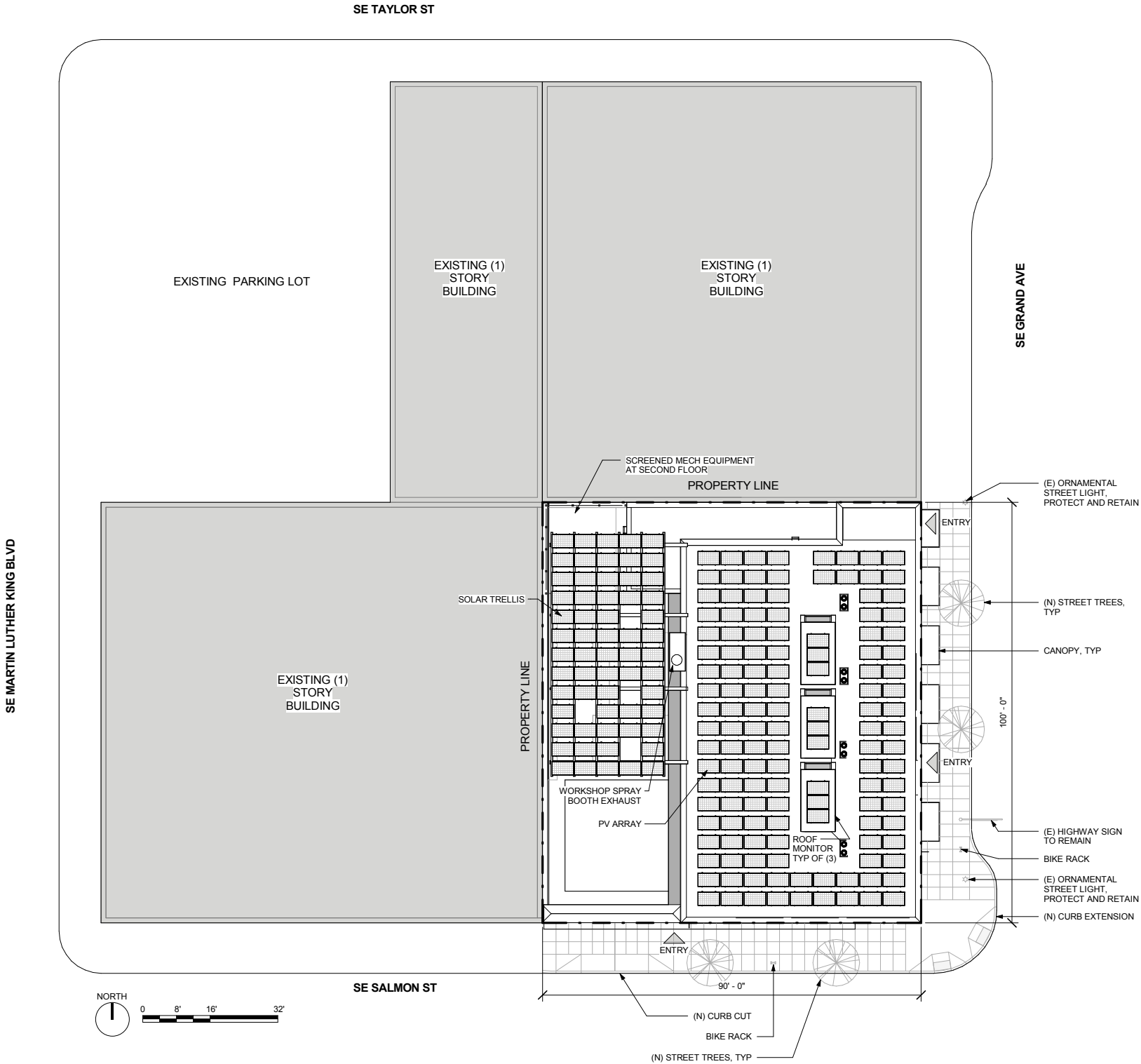


Alberts Products Co.
Contributing



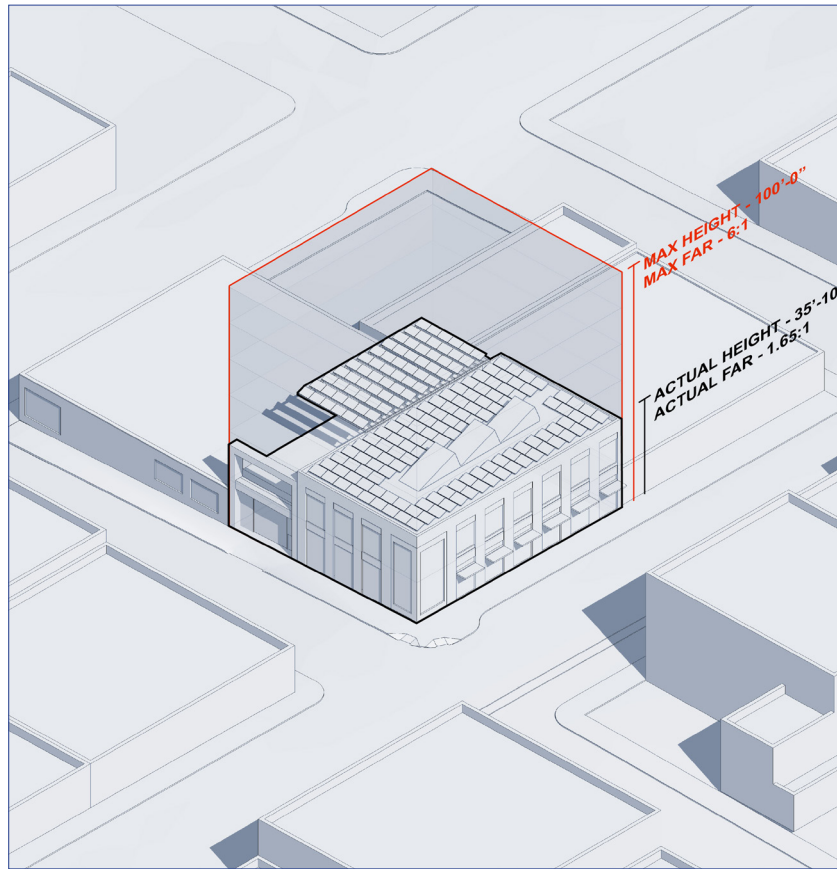
CONTEXT: GRAND AVE HISTORIC DISTRICT

ZONING DATA		
PROPERTY ADDRESS	1135 SE GRAND AVE., PORTLAND, OR 97214	
PROPERTY ID	R150084	
COUNTY	MULTNOMAH	
STATE ID	1S1E02BC 1700	
ZONING MAP	3131	
PROPERTY AREA (SF)	9,000 SF	
ZONE	EX	
ZONE DESCRIPTION	CENTRAL EMPLOYMENT	
ZONE OVERLAY	d - DESIGN ZONE	
COMP PLAN	EX - CENTRAL EMPLOYMENT	
COMP PLAN OVERLAY	N/A	
HISTORIC DISTRICT	GR - EAST PORTLAND/ GRAND AVE. HISTORIC DISTRICT	
CONSERVATION DISTRICT	N/A	
PLAN DISTRICT	CC - CENTRAL CITY PLAN DISTRICT	
NRMP DISTRICT	N/A	
URBAN RENEWAL DISTRICT	CENTRAL EASTSIDE	
DESIGN REVIEW	TYPE III	
	REQUIRED	PROVIDED
MAX FAR	6 to 1	1.65 TO 1
MAX BUILDING AREA	54,000 SF	14,854 SF
MAX HEIGHT	100 FT	35' - 10"
MIN BUILDING SETBACKS	0 FT	0 FT
MAX BUILDING SETBACKS	0 FT	0 FT
MAX BUILDING COVERAGE	100% OF SITE AREA	100% OF SITE AREA
MIN LANDSCAPED AREA	NONE	N/A
GROUND FLOOR WINDOW STANDARDS	YES - 4'-0" ABOVE GRADE	YES
PEDESTRIAN STANDARDS	YES	YES
MIN PARKING	NONE	N/A
MAX PARKING	27	0
BIKE PARKING - LONG TERM	4	6
BIKE PARKING - SHORT TERM	2	0 - PROJECT TO PAY INTO CITY FUND
LOADING	NONE	N/A



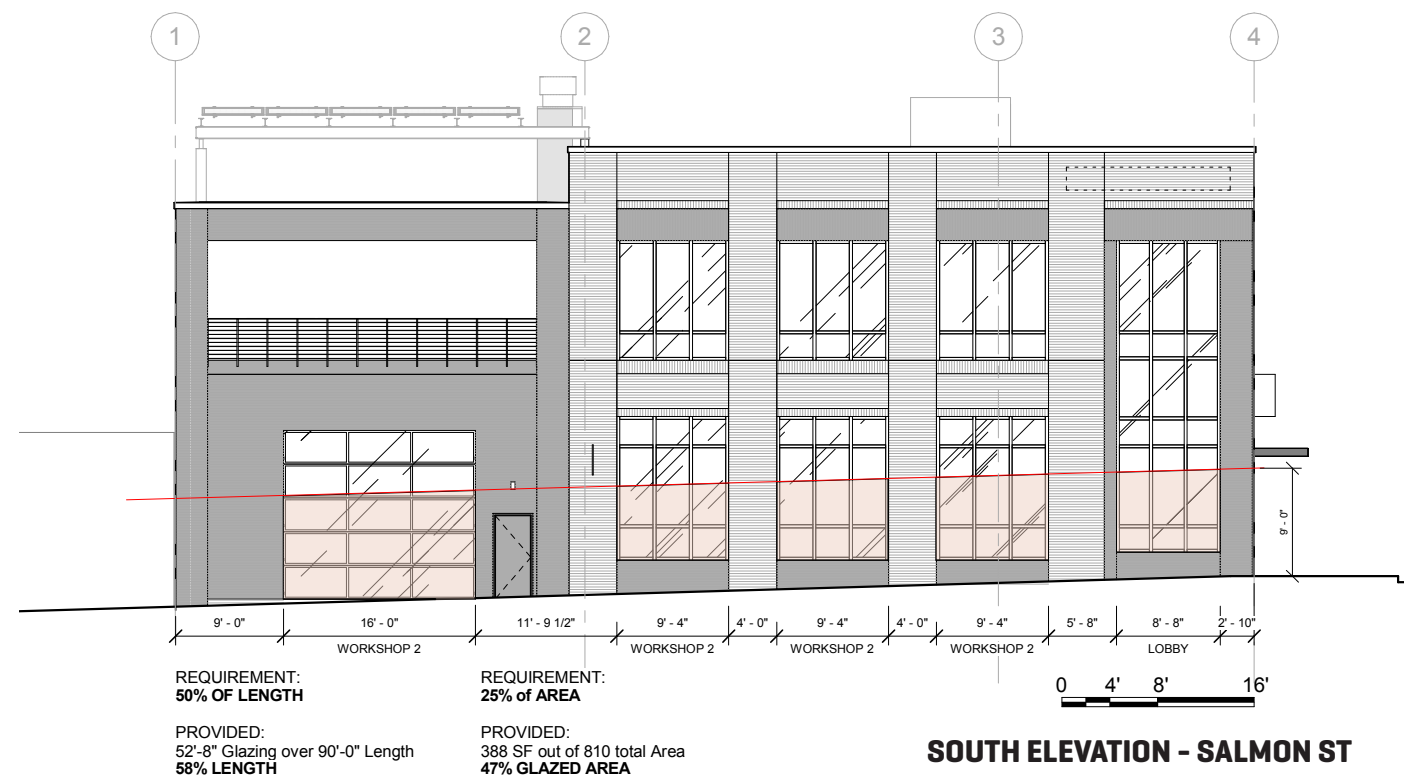
SITE PLAN & ROOF PLAN

CONTEXT: ZONING CODE ANALYSIS

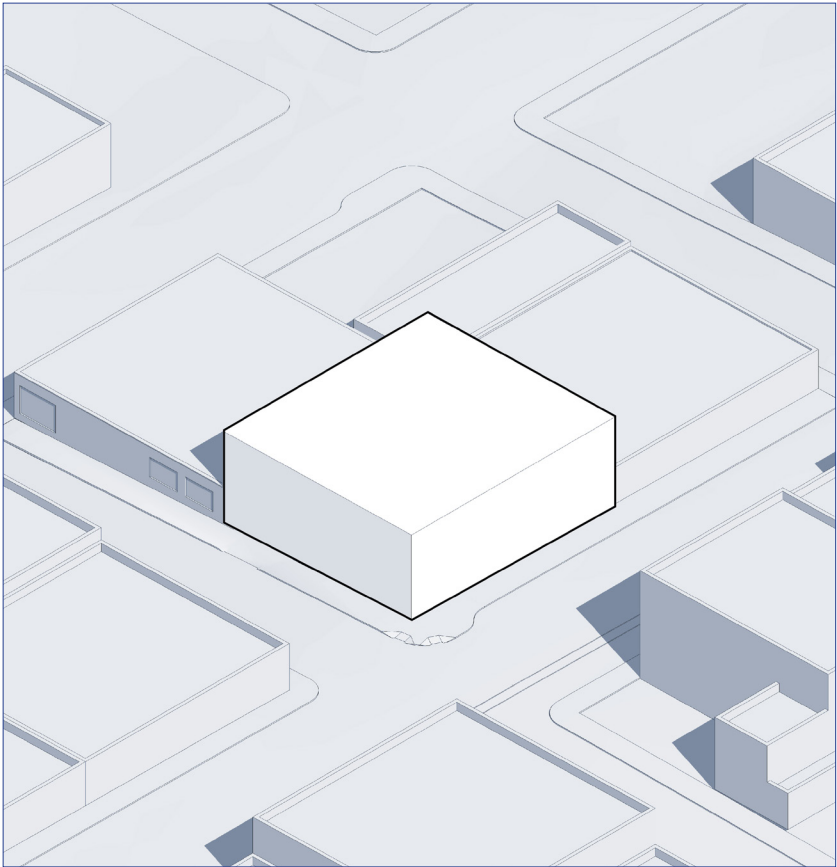


MAX AND PROPOSED FAR

The maximum FAR on allowed is 6 to 1, allowing a total of 54,000 sf development, and the max allowable building height is 100' per the Central City Plan District guidelines. The proposed two story building has a height of 35'-5" and an FAR of 1.65 to 1. The proposed design is similar in FAR, proportion, and height to many buildings in the district.

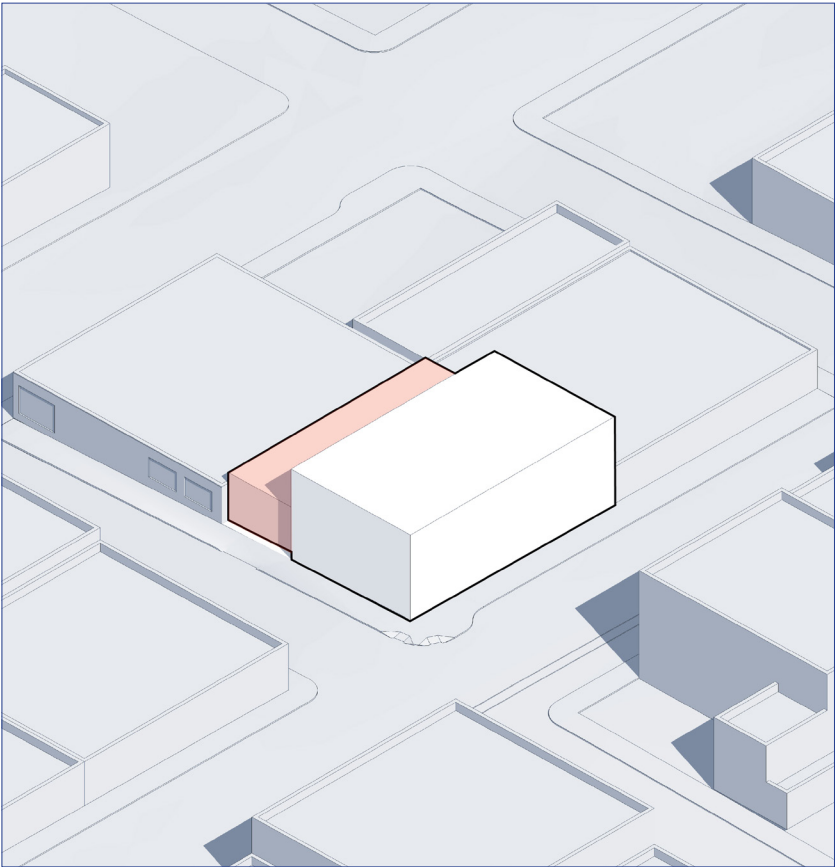


CONTEXT: ZONING CODE ANALYSIS



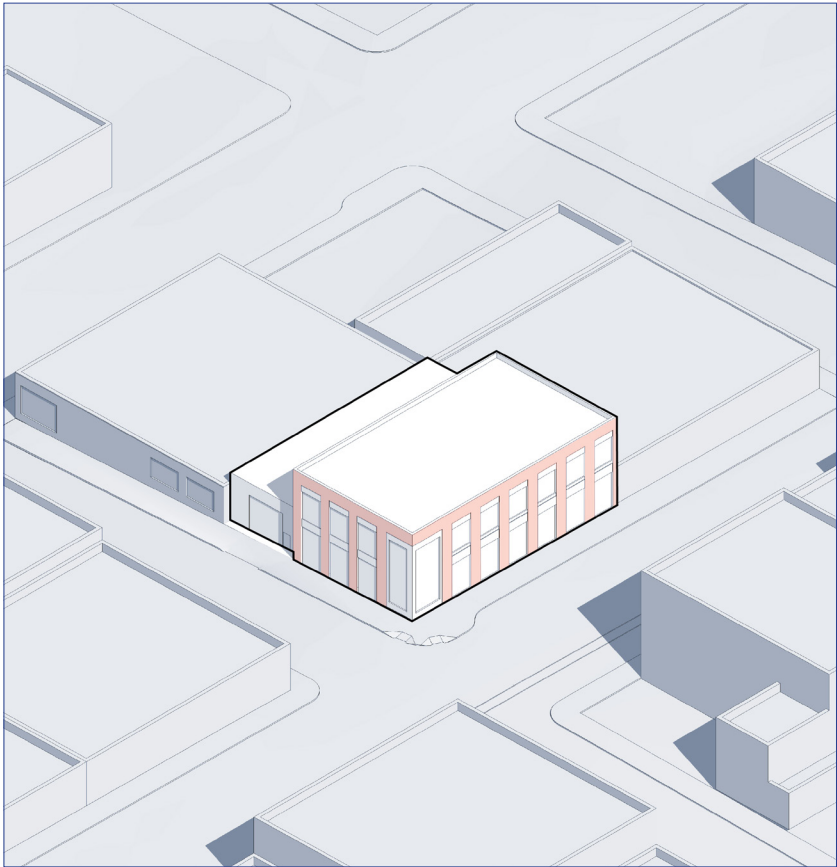
TWO STORY MASS

By adopting a similar density to the surrounding historic development, the proposed building is compatible in scale and proportion to other buildings in the district.



MASSING TRANSITION

The site is bounded to the north and west by single story buildings. To ease the transition in height, the proposed building steps down near the property lines. The step down on the west facade is used to create a landscaped roof deck on the second floor level, which provides a view to the Central City skyline and the Willamette River.



RHYTHM

Both street-facing facades utilize a rhythm characteristic of the neighborhood; regular structural bays accentuated by large storefront windows. Ground floor windows are generous and evenly distributed along the right-of-way, with low sills that allow passing pedestrians to see the work occurring within.



Many quarter-block buildings in the district exhibit similar massing and development density



Stepped massings, while not common, do occur elsewhere in the district.



Many buildings in the district exhibit a similar rhythm, two story piers and glazing strategy.



PROPOSED BUILDING CONCEPT

DESIGN
REVIEW

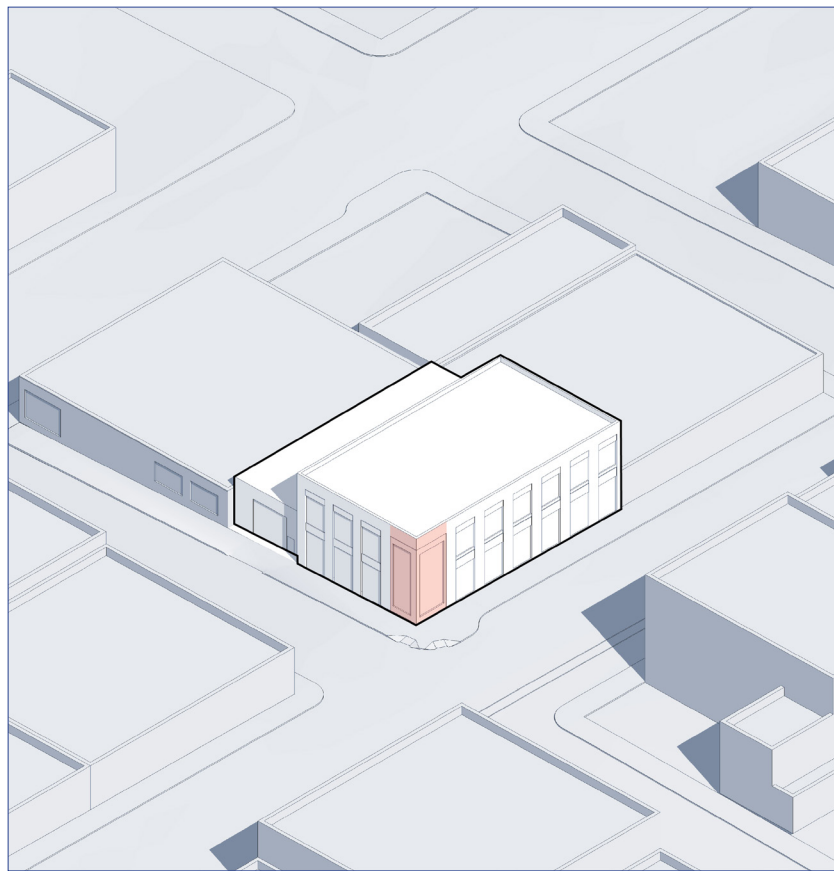
09.02.2016

LU NO.
16-236871 HR

Title:

BUILDING
CONCEPT

Sheet:

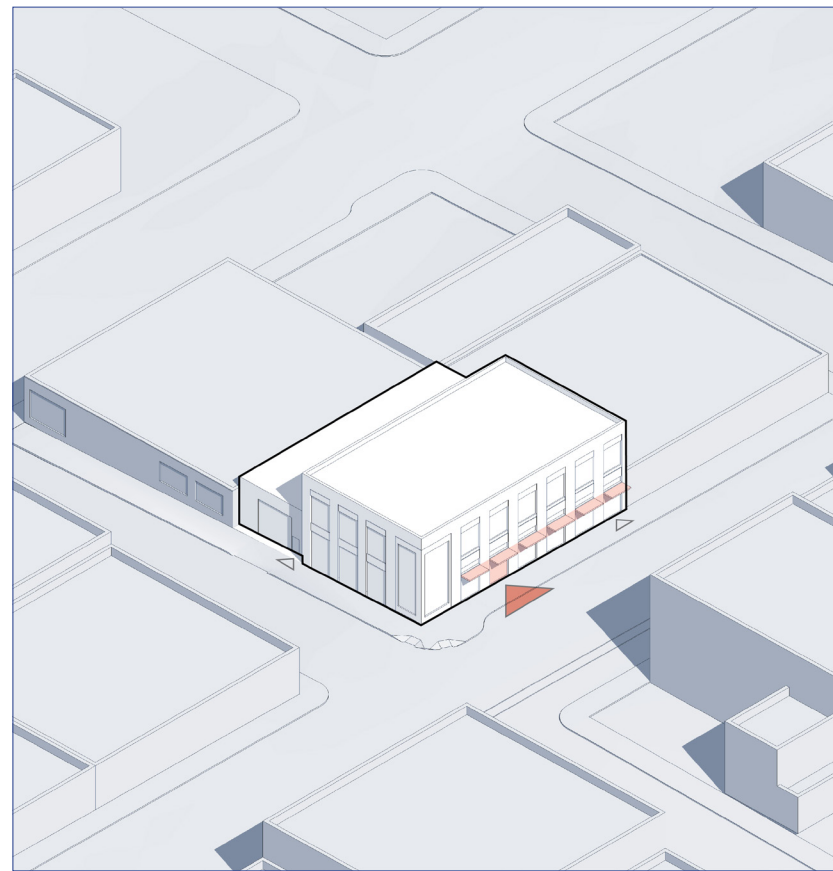


CORNER EMPHASIS

The building's double-height lobby and grand stair is highlighted by an extra-large south facing window. The stair will be visible from the right-of-way, creating visual interest to activate the intersection.



Subtle emphasis on building corners is a feature of some historic structures in the district.



MID-BLOCK ENTRANCE + CANOPIES

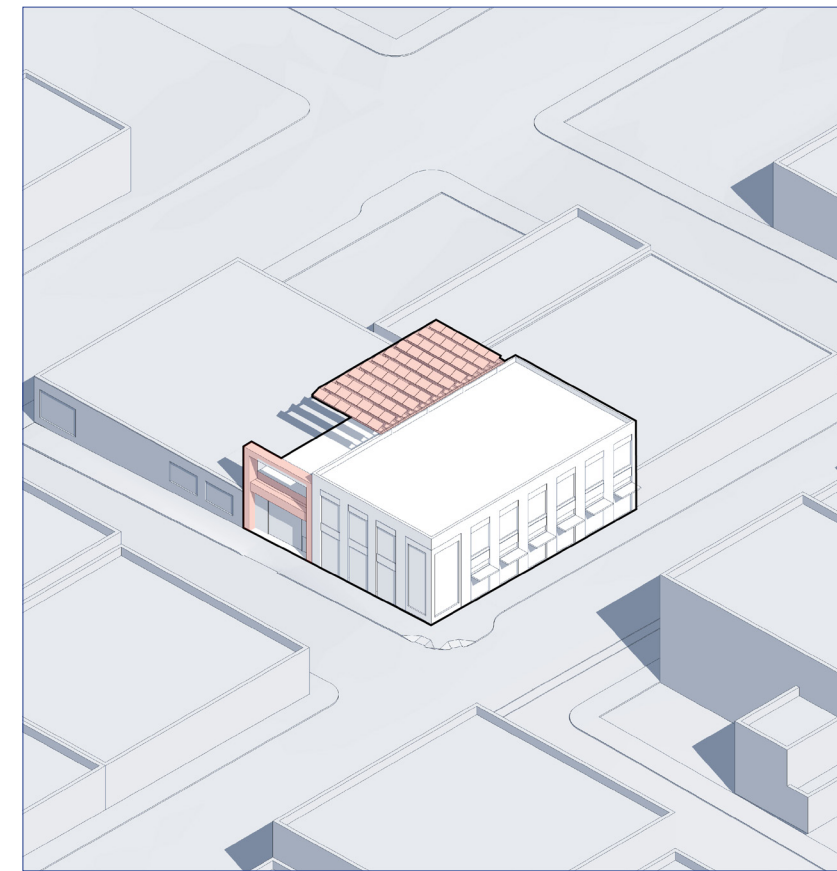
The proposed building includes a series of rectangular canopies along SE Grand Ave, which match the rhythm of the building structure and emphasize the main entry and storefront windows. Secondary and utility building access is relegated to less prominent areas.



Building entries are commonly at mid-block.



Canopies, where they exist, typically flank the entry and are often limited to the primary entry facade.



SHADING + SCREENING

Two screening elements are incorporated into the roof deck - a trellis structure that also serves to support vines, and a sun screen to the south. Both will shade a portion of the Roof Deck and enhance usability. The sun screen to the south approximately continues the line of the two story mass, aiding in integrating the mass with the neighborhood.



External shading on upper floors has historic precedent in the district.

PROPOSED BUILDING CONCEPT

DESIGN
REVIEW

09.02.2016

LU NO.
16-236871 HR

Title:

BUILDING
CONCEPT

Sheet:

C.13

PROJECT

C.16	Perspective View
C.17	Perspective View, Night
C.18	Perspective View
C.19	Perspective View
C.20	First Floor Plan
C.21	Second Floor Plan
C.22	Building Sections
C.23	Building Sections
C.24	Building Elevations
C.25	Building Elevations
C.26	Energy Goals
C.27	View Dynamic Glass Renderings
C.28	Elevations & Wall Sections
C.29	Details
C.30	Elevations & Wall Sections
C.31	Details
C.32	Elevations & Wall Sections
C.33	Wall Sections
C.34	Building Signage Details
C.35	Lighting Plan
C.36	Roof Deck Planting Plan
C.37	Roof Terrace Elevation
C.38	Planting Plan
C.39	Planting Details
C.40	Roof Deck Renderings
C.41	Planting Palette

DESIGN
REVIEW

09.02.2016

LU NO.
16-236871 HR

Title:

PERSPECTIVE

Sheet:

C.16



VIEW FROM GRAND AVENUE - SE CORNER

PERSPECTIVE



NIGHT VIEW FROM GRAND AVENUE - SE CORNER

PERSPECTIVE



PERSPECTIVE



VIEW FROM GRAND AVENUE - NE CORNER

PERSPECTIVE

DESIGN
REVIEW

09.02.2016

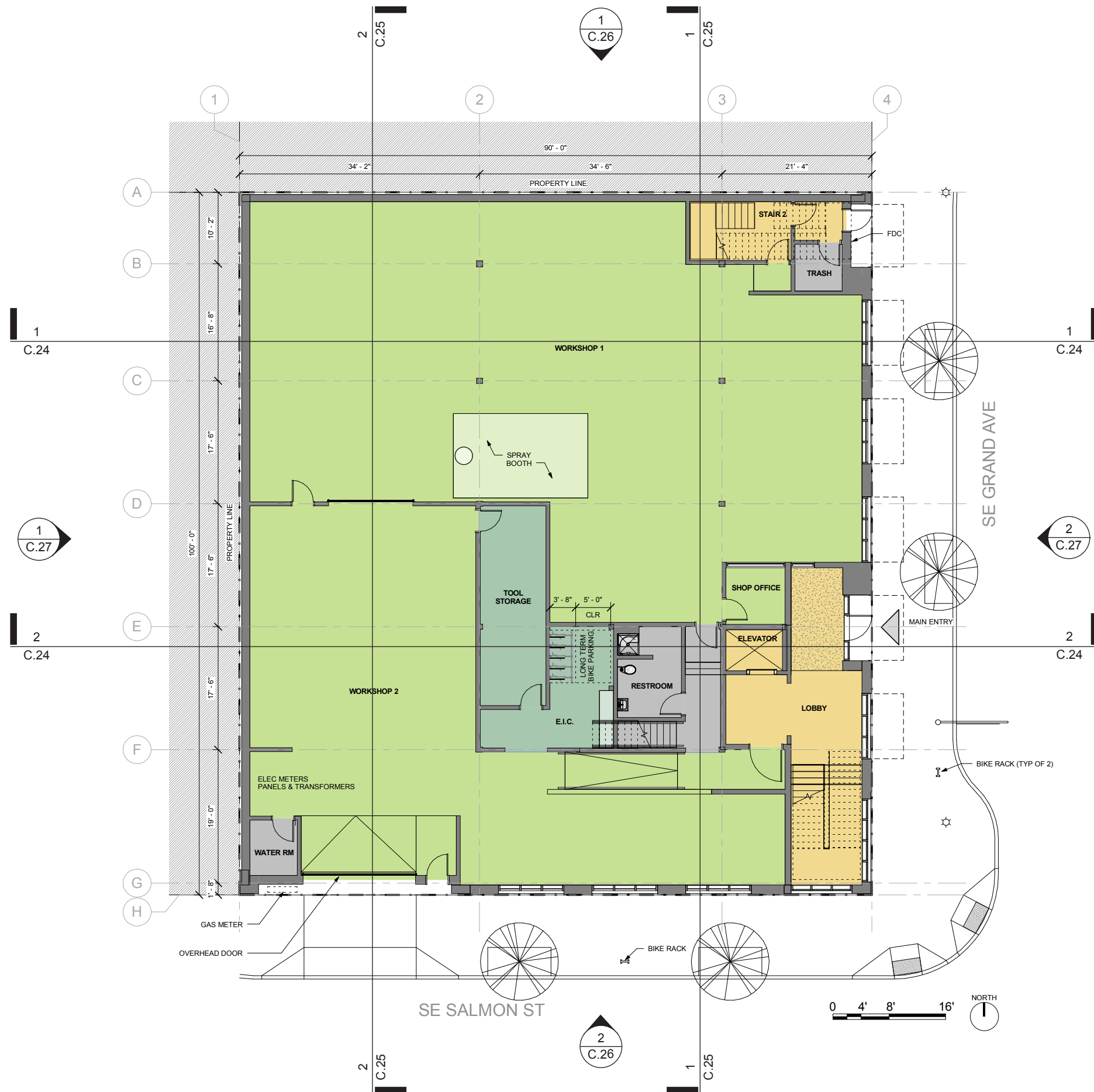
LU NO.
16-236871 HR

Title:

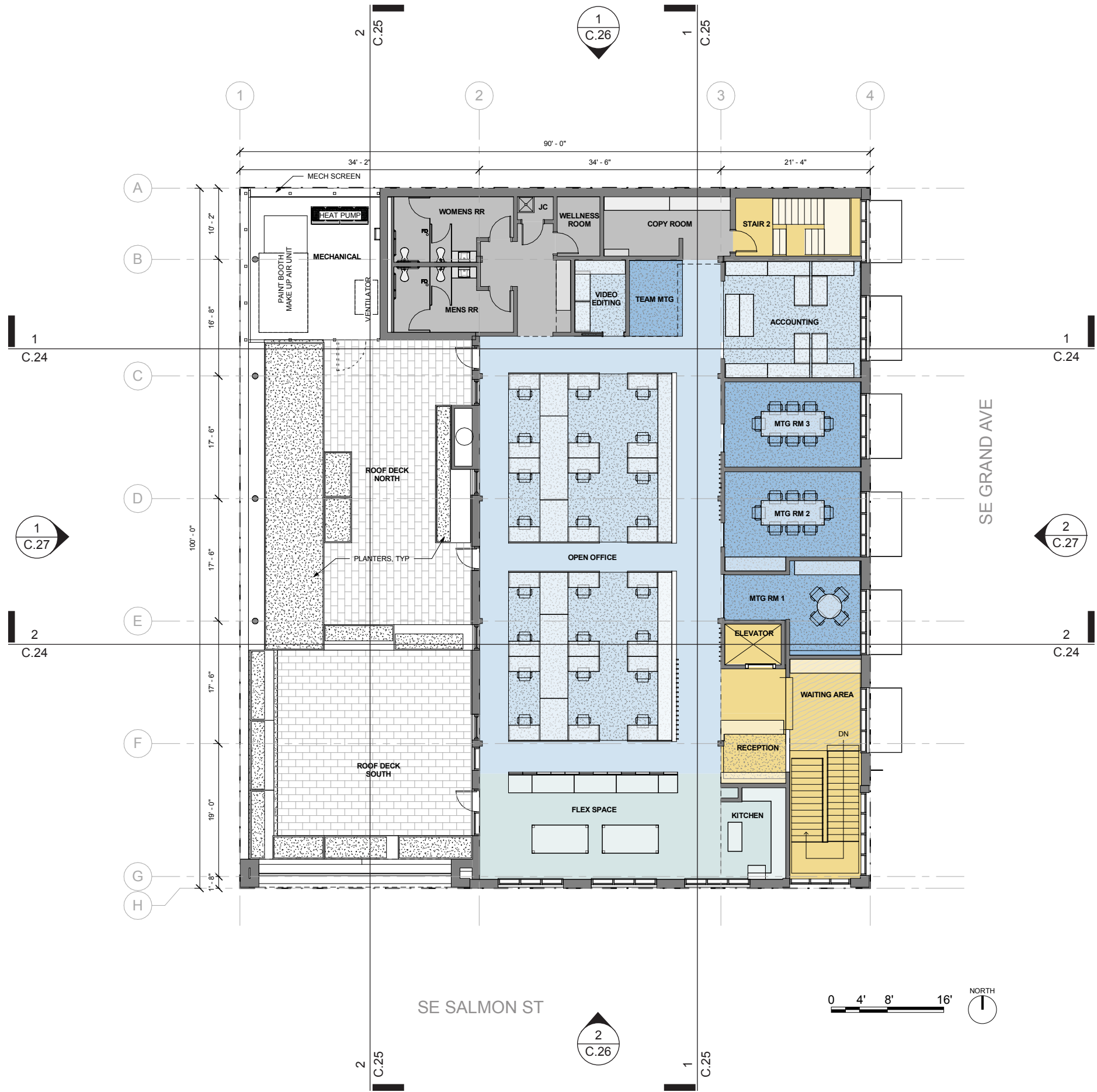
PERSPECTIVE

Sheet:

C.19

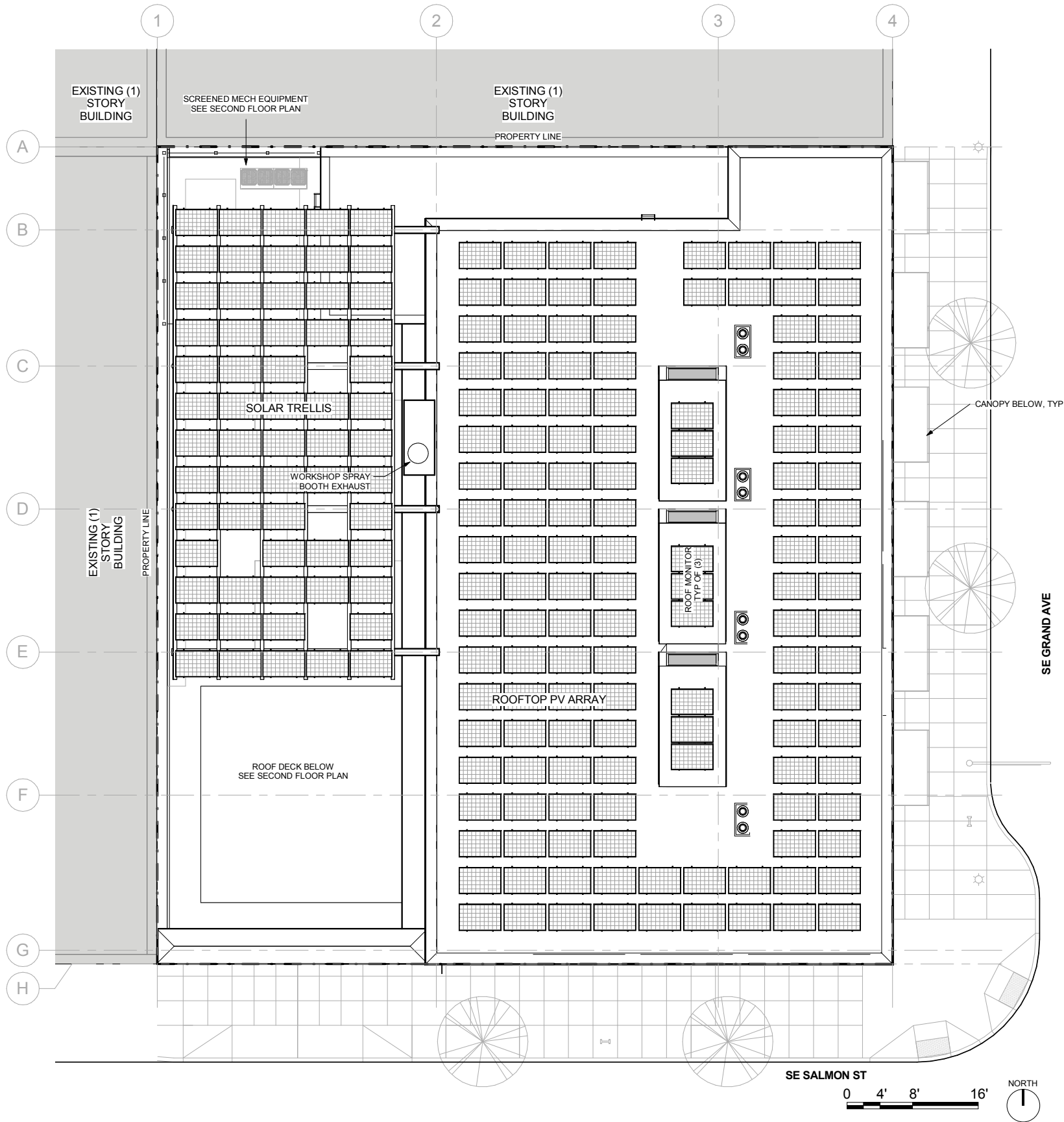


* The proposal includes short term bicycle parking in the right-of-way. Because no space is available on site, the option will be taken to pay into the bicycle parking fund.



SECOND FLOOR PLAN

ROOF PLAN



DESIGN
REVIEW

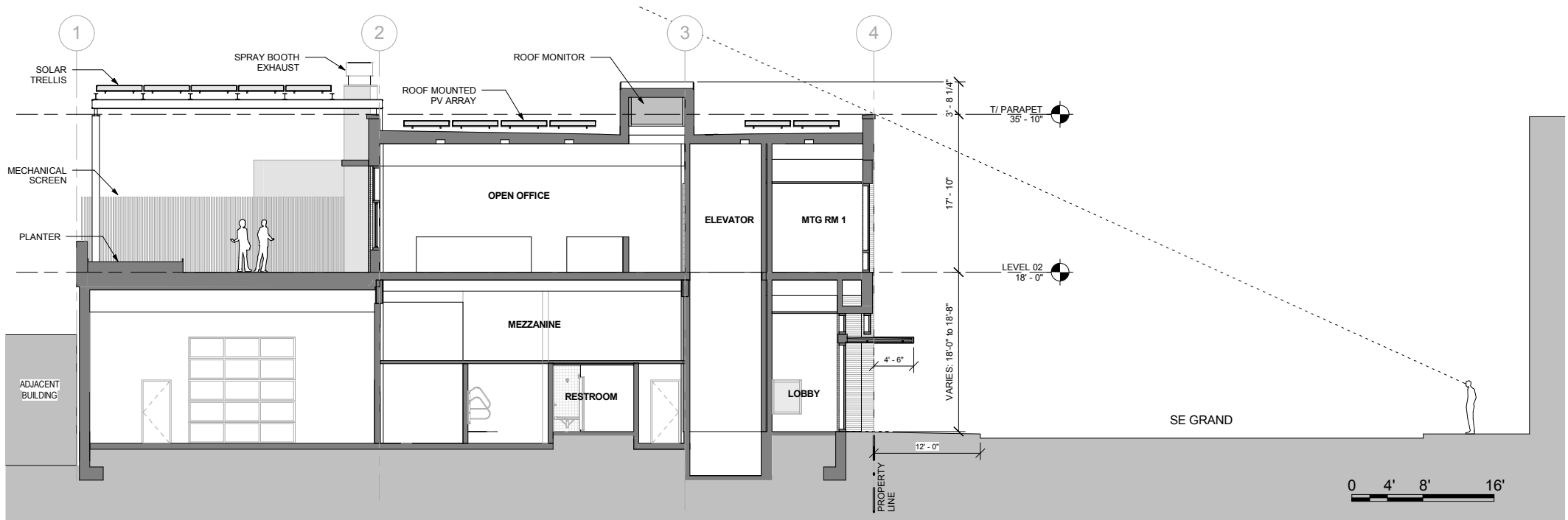
09.02.2016

LU NO.
16-236871 HR

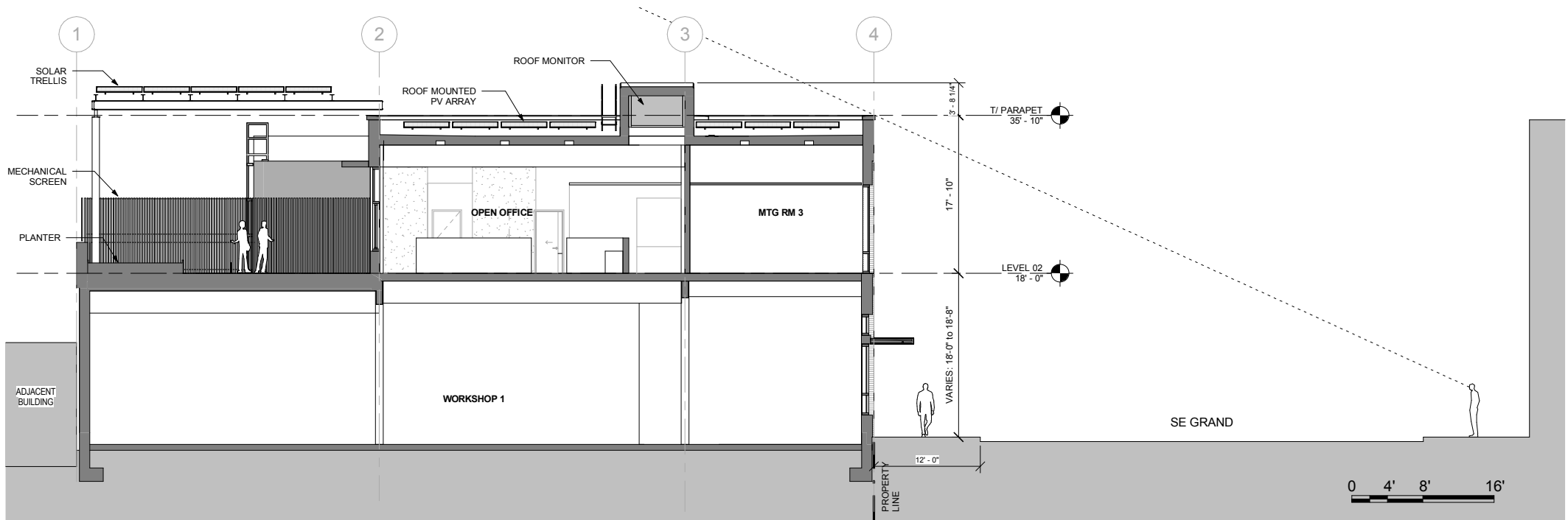
Title:

Sheet:

C.23

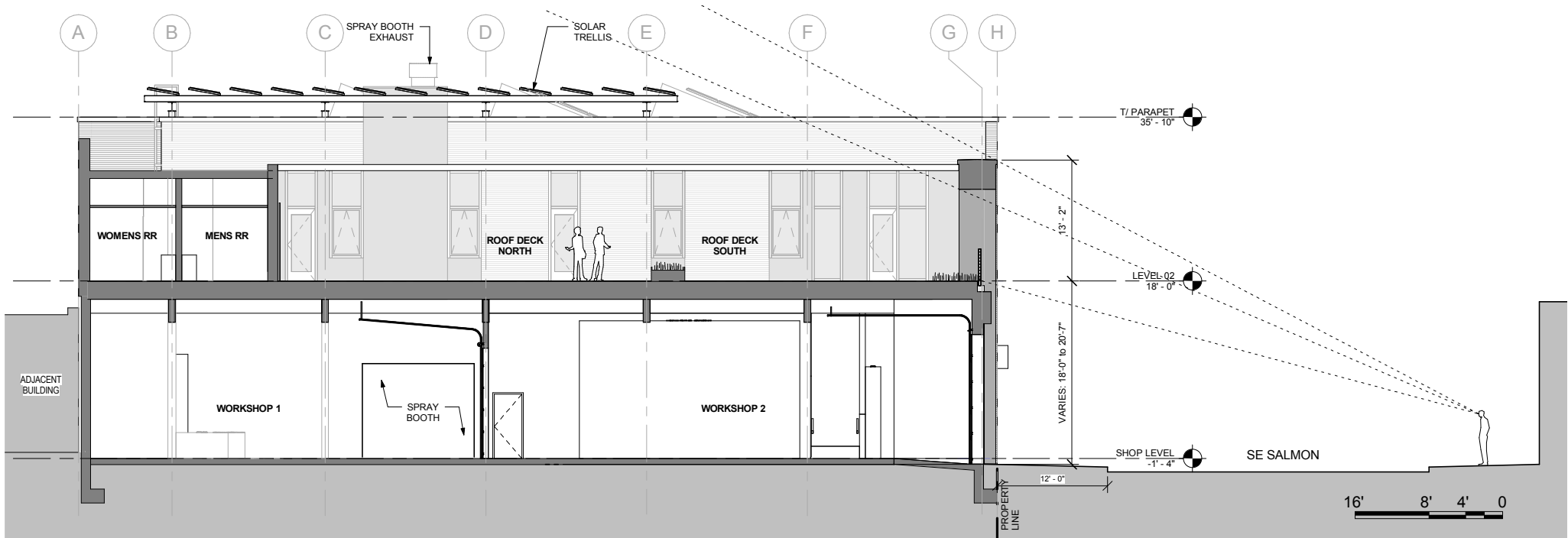


2 - SECTION A - EAST/WEST

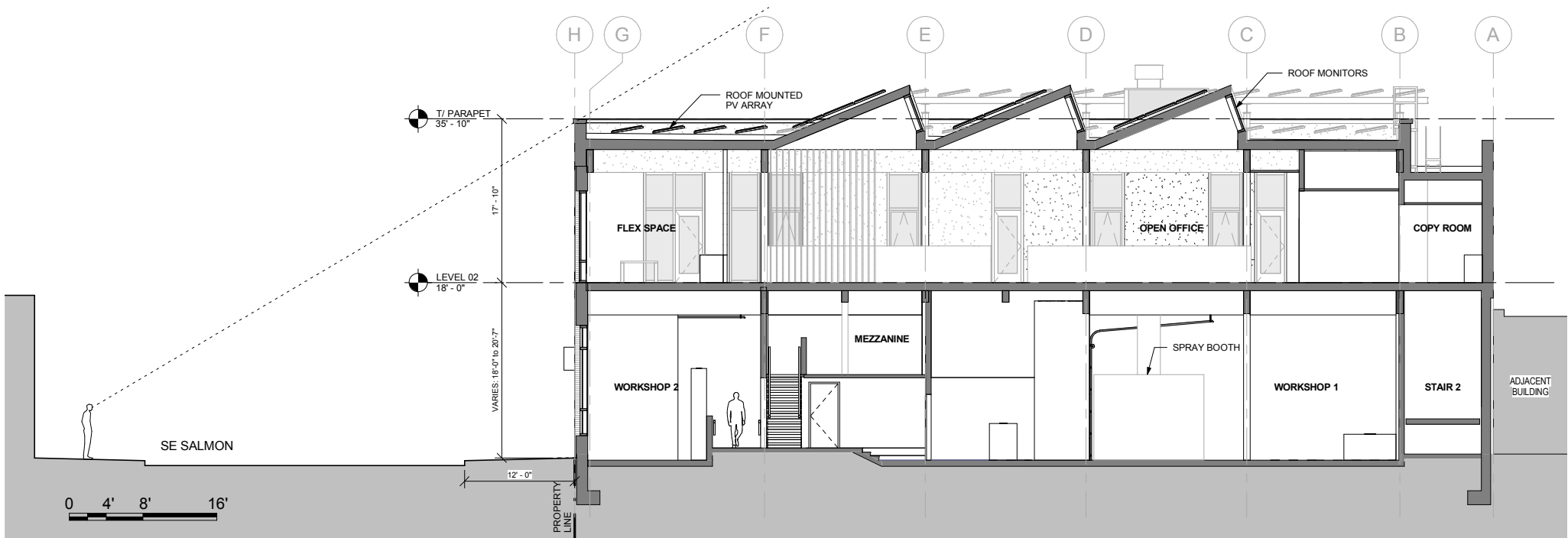


1 - SECTION B - EAST/WEST

BUILDING SECTIONS

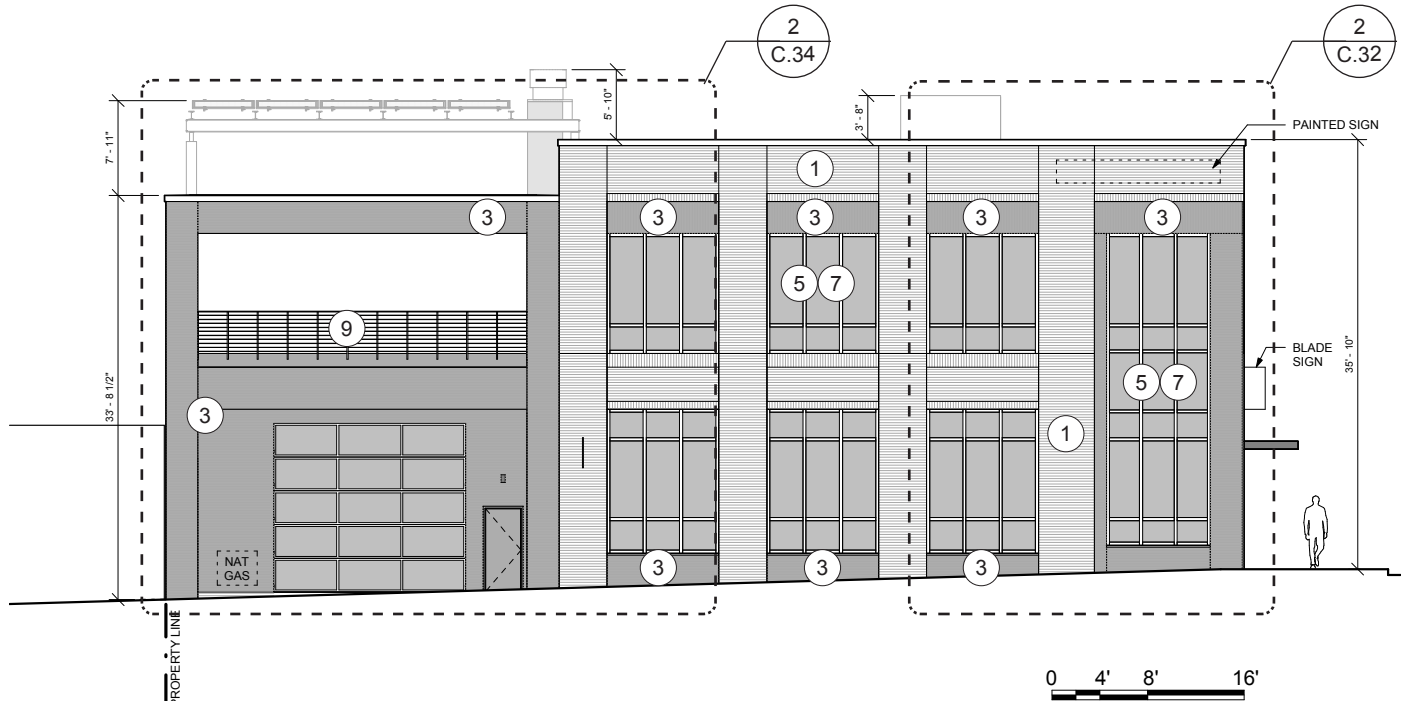


2 - SECTION C - NORTH/SOUTH

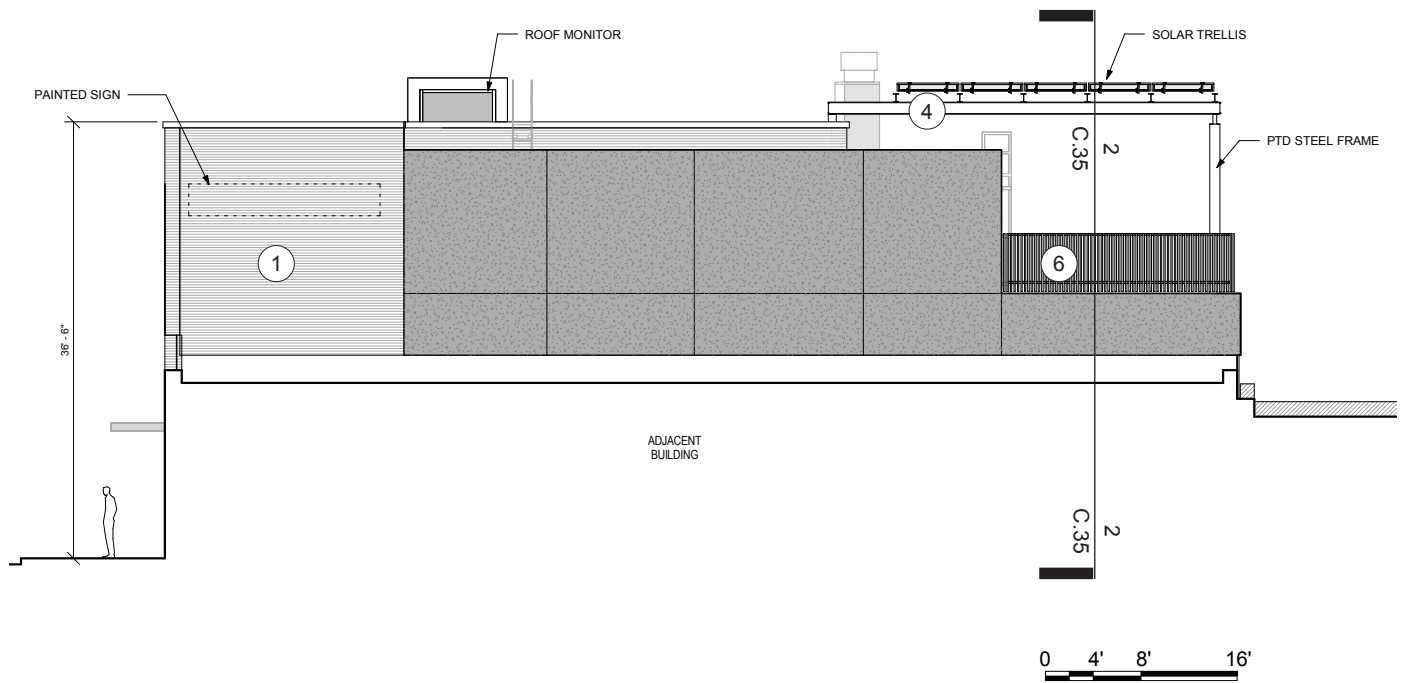


1 - SECTION D - NORTH/SOUTH

BUILDING SECTIONS



2- SOUTH ELEVATION - SALMON ST



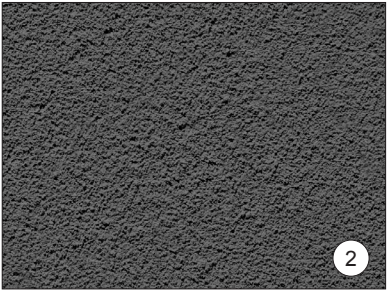
1 - NORTH ELEVATION



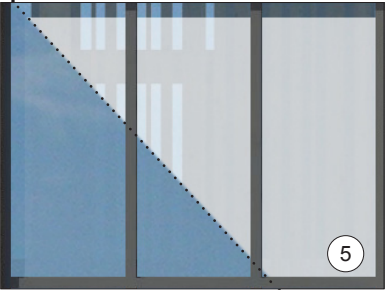
WHITE PAINTED BRICK



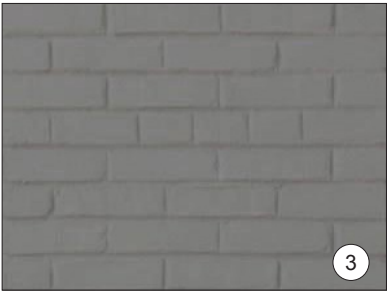
PAINTED METAL



FIELD APPLIED 3-COAT STUCCO



VIEW DYNAMIC GLASS, SEE C.27



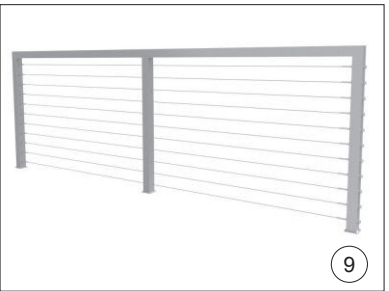
GREY PAINTED BRICK



WOOD SLATS @ MECH SCREEN



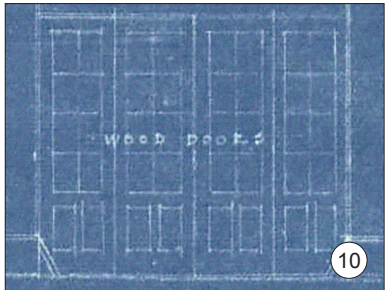
ALUMINUM CLAD TIMBER CURTAIN WALL



STEEL + WIRE GUARDRAIL



JAKOB WIRE GREEN WALL



NEW DOORS TO REFERENCE ORIGINAL
WOOD DOORS

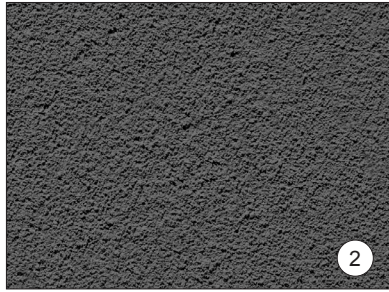
BUILDING ELEVATIONS



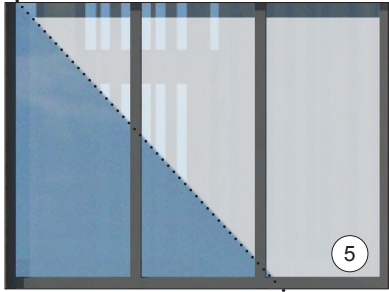
WHITE PAINTED BRICK



PAINTED METAL



FIELD APPLIED 3-COAT STUCCO



VIEW DYNAMIC GLASS, SEE C.27



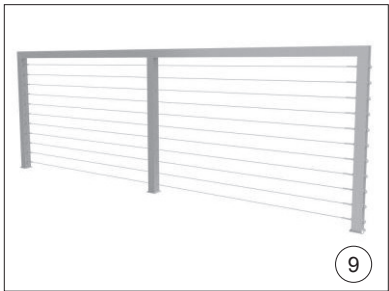
GREY PAINTED BRICK



WOOD SLATS @ MECH SCREEN



ALUMINUM CLAD TIMBER CURTAIN WALL



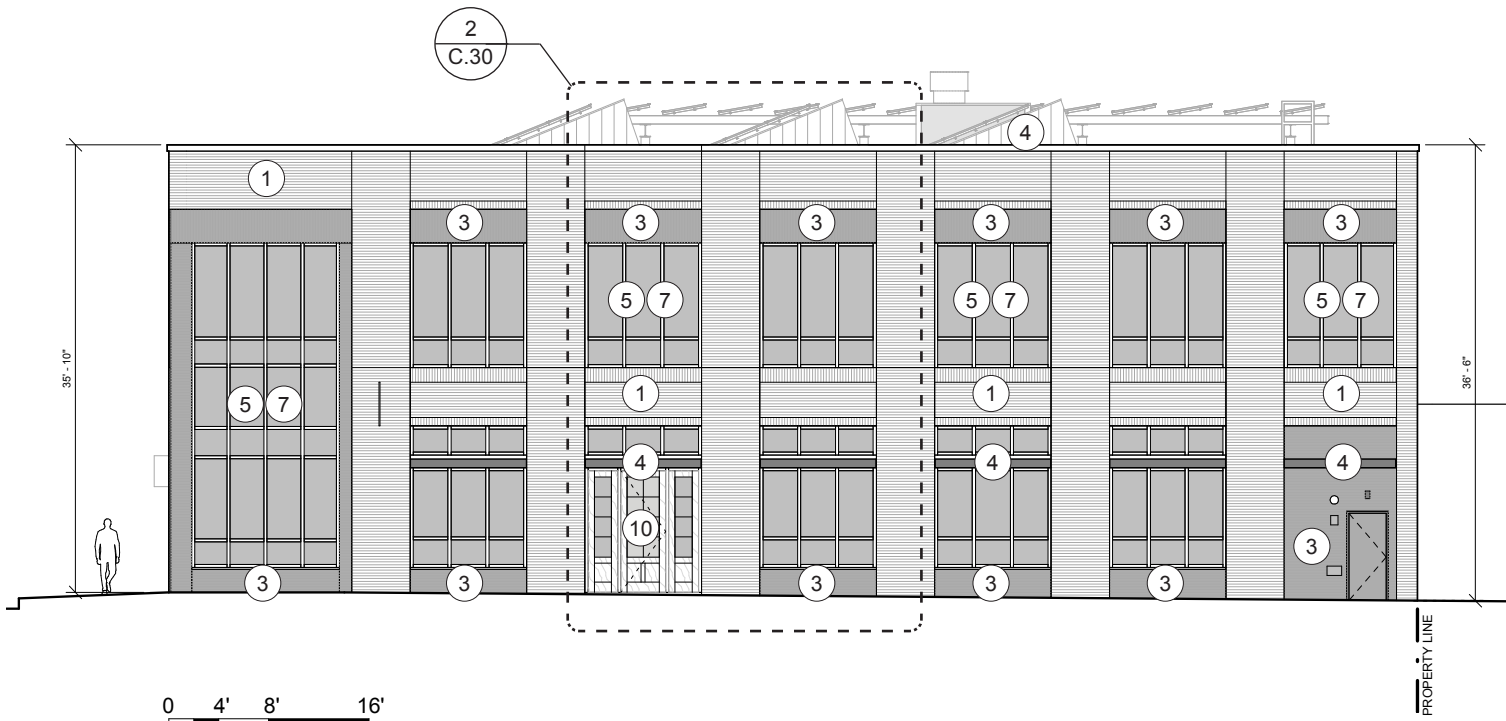
STEEL + WIRE GUARDRAIL



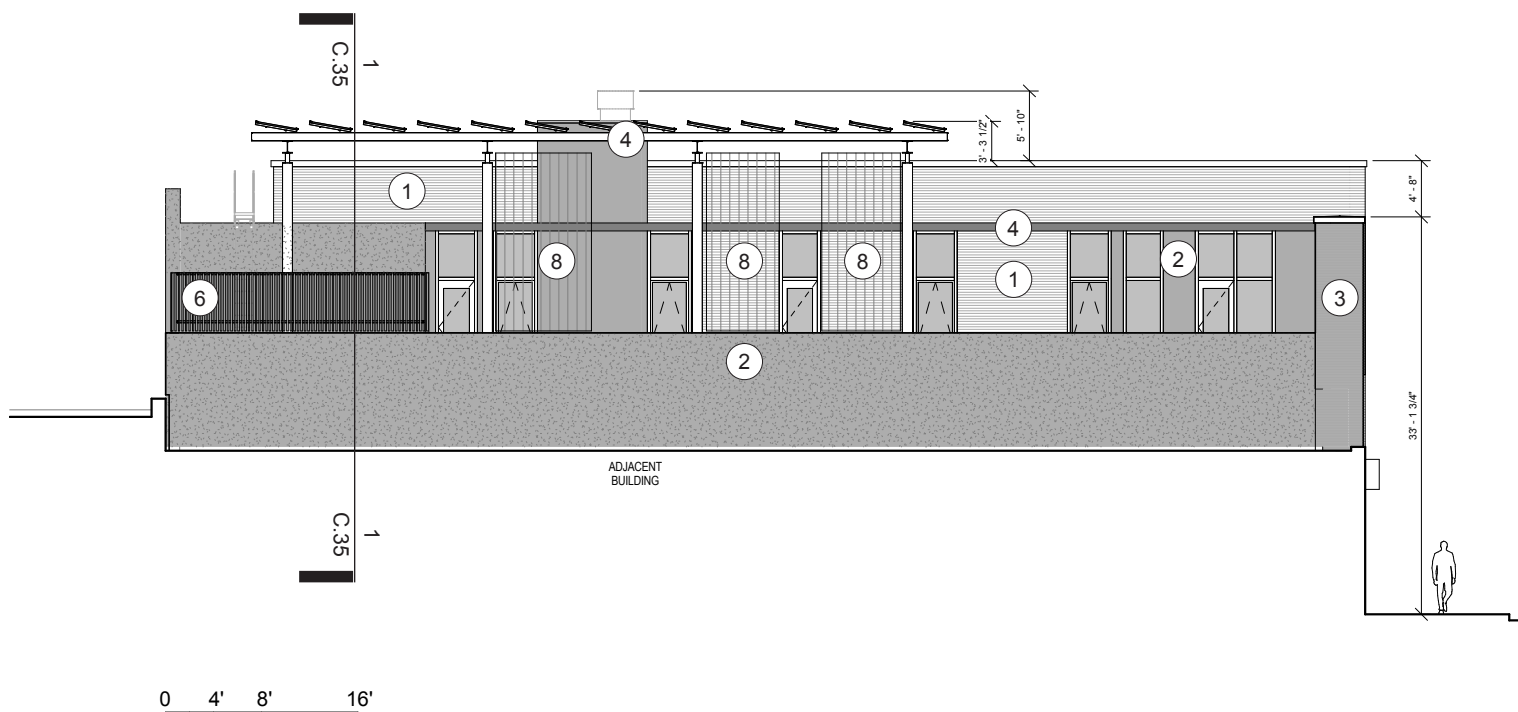
JAKOB WIRE GREEN WALL



NEW DOORS TO REFERENCE ORIGINAL WOOD DOORS



2 - EAST ELEVATION - GRAND AVE



1 - WEST ELEVATION

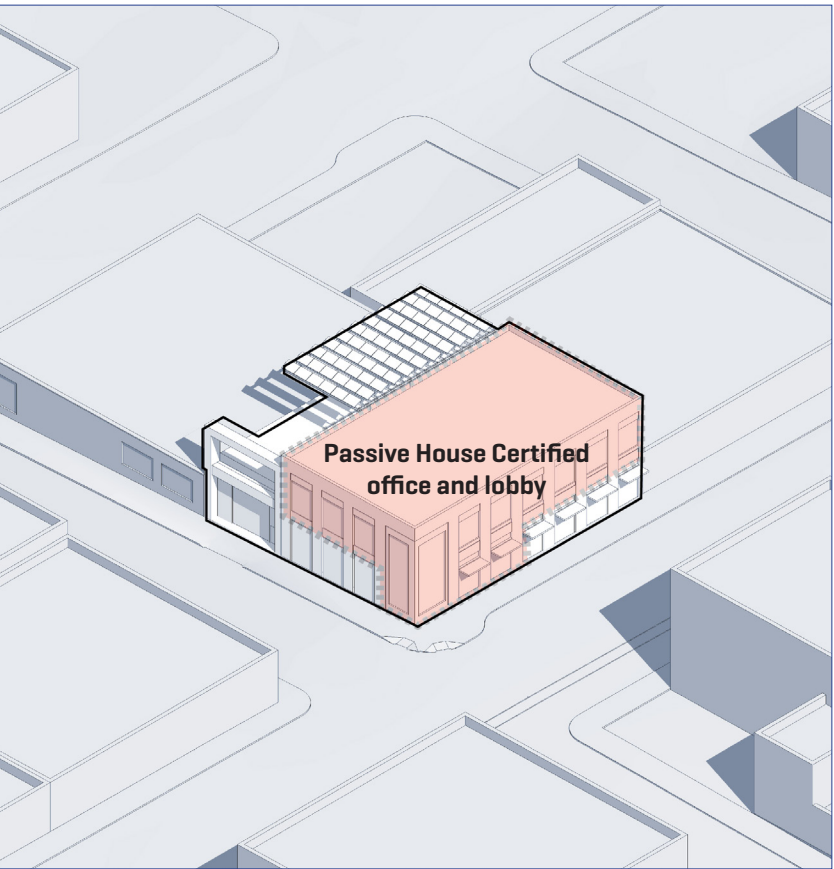
BUILDING ELEVATIONS

PROJECT ENERGY GOALS → DYNAMIC GLASS SHADING STRATEGY

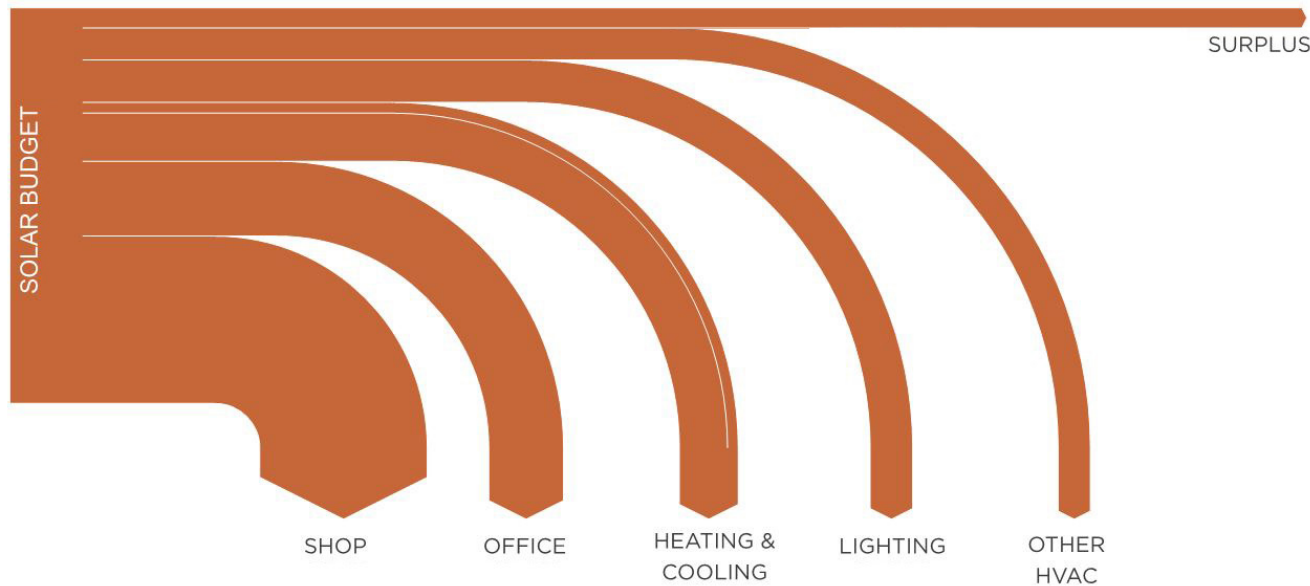
The Owner has identified Net Zero Energy performance and PHIUS+ Certification as key project goals. The two goals are highly complimentary in that the techniques and tools used to meet PHIUS+ Certification provide an excellent foundation for reaching Net Zero Energy.

These are demanding goals, that require dedication in both design and operation. The energy budget, based on the available solar resources, must be closely managed throughout the project, along with the financial budget.

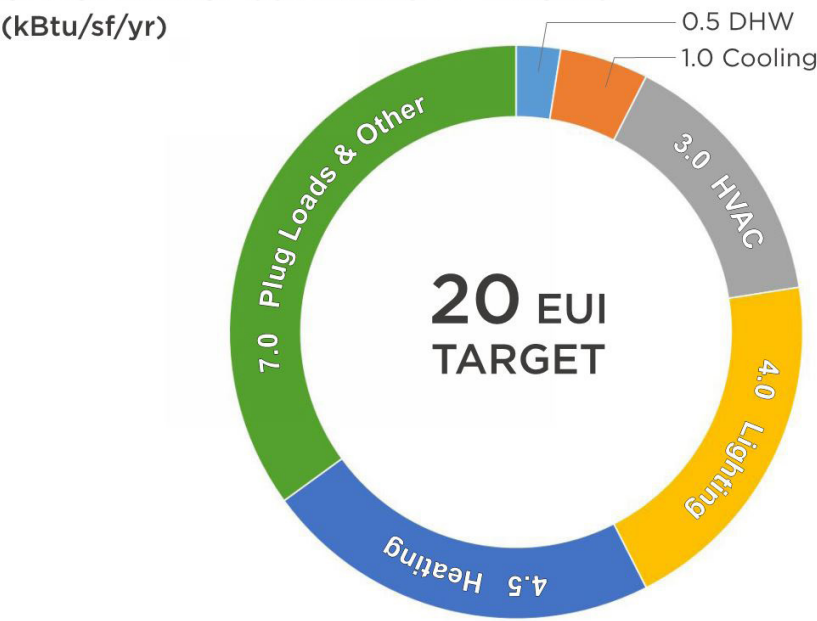
Because there are limits to renewable energy production imposed by the site location and a limit on heating and cooling energy demand imposed by PHIUS+ certification, our approach is to aggressively pursue energy savings with a *high performance building envelope* to reduce heating load and the use of *dynamic glass* to reduce air conditioning demand. The reduction of the heating and cooling energy use reduces the extent of the required solar photovoltaic array on the building roof.



ANNUAL ENERGY BUDGET

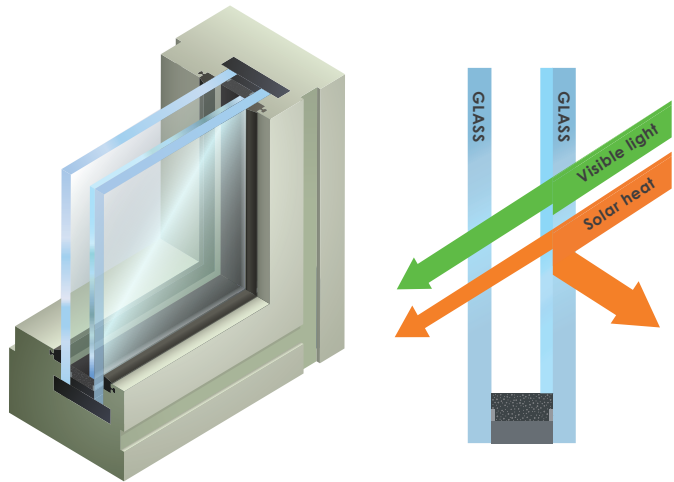


OFFICE ENERGY USE INTENSITY TARGETS (kBtu/sf/yr)



PROPOSED ENERGY GOALS

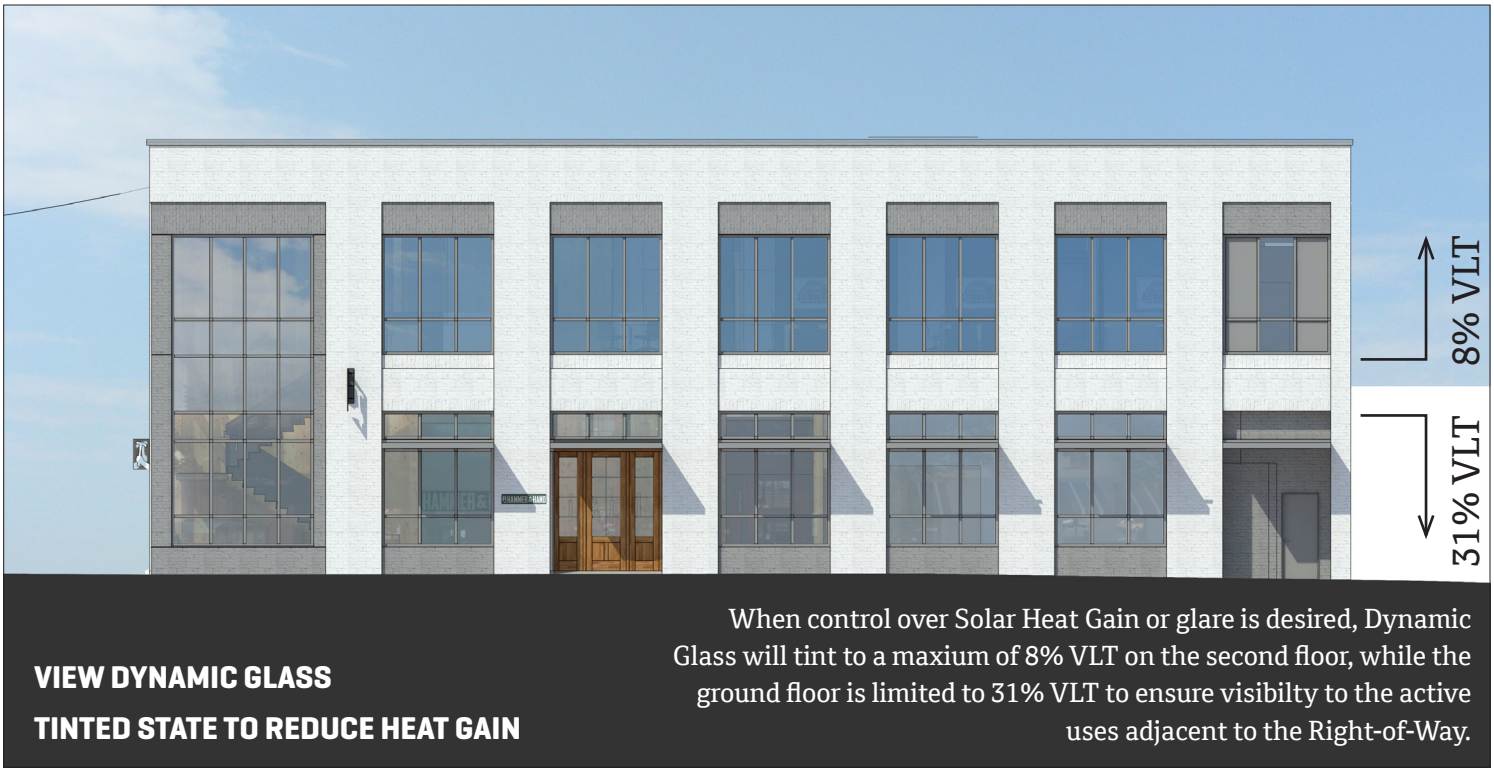
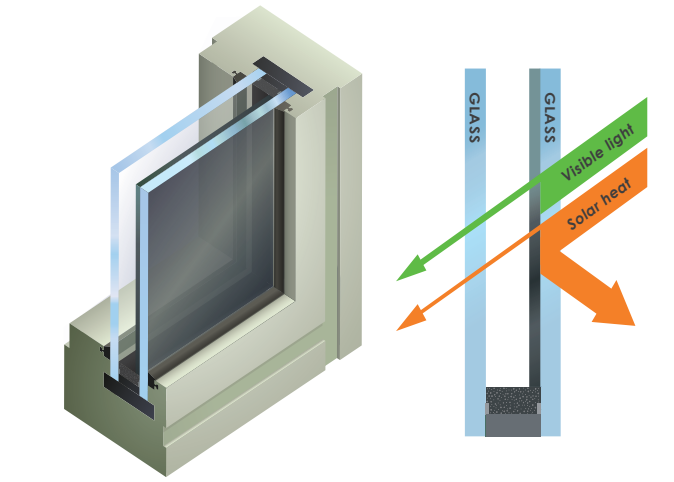
CLEAR STATE
43% VISUAL LIGHT TRANSMITTANCE [VLT]



VIEW DYNAMIC GLASS
CLEAR STATE, TYPICAL CONDITION

Typically, the View Dynamic Glass will default to 43% VLT on the first and second floors.

TINT STATE
8-31% VISUAL LIGHT TRANSMITTANCE [VLT]



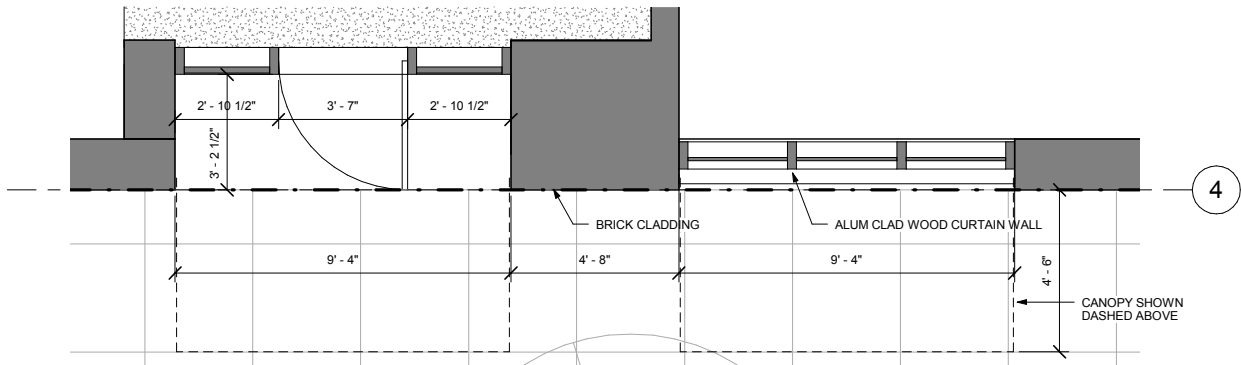
VIEW DYNAMIC GLASS
TINTED STATE TO REDUCE HEAT GAIN

When control over Solar Heat Gain or glare is desired, Dynamic Glass will tint to a maximum of 8% VLT on the second floor, while the ground floor is limited to 31% VLT to ensure visibility to the active uses adjacent to the Right-of-Way.

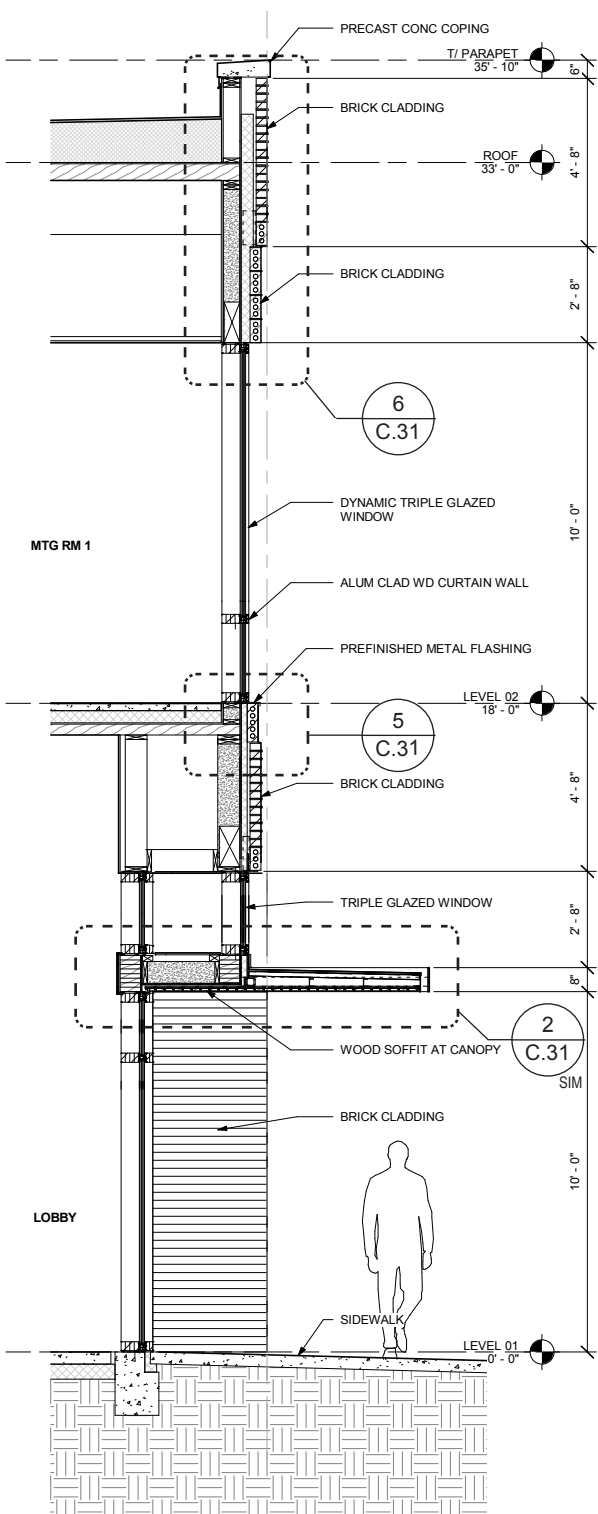
VIEW DYNAMIC GLASS RENDERINGS



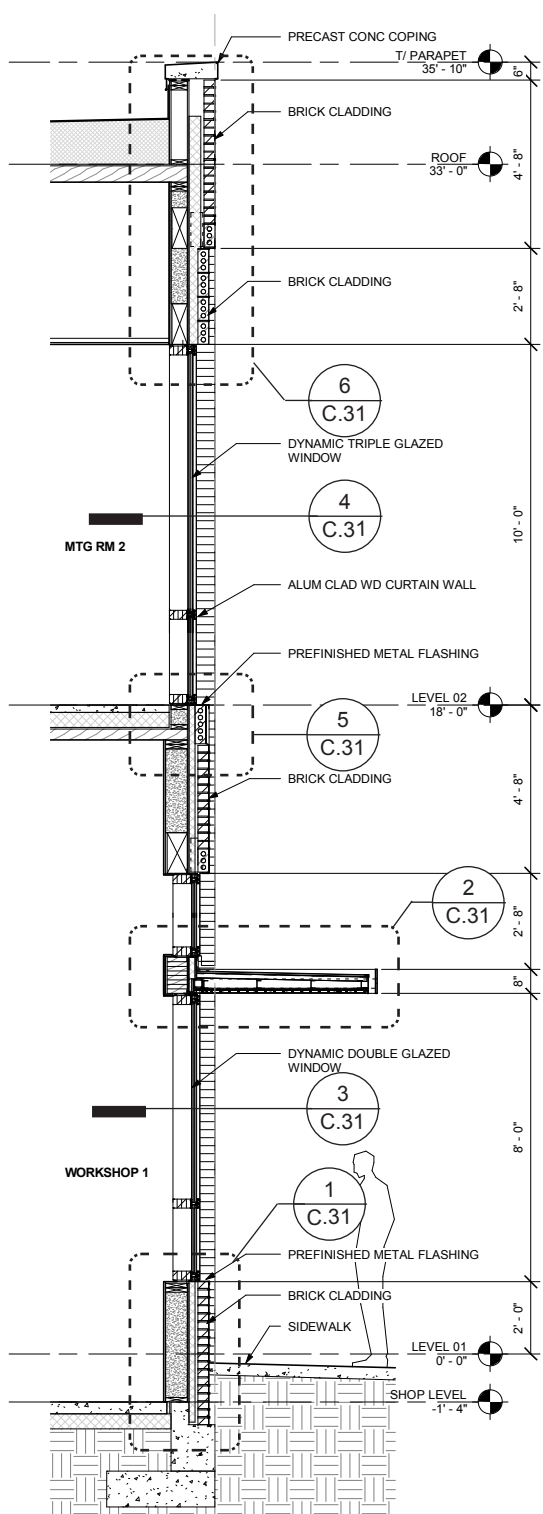
2- EAST ELEVATION



1 - ENLARGED FIRST FLOOR PLAN AT ENTRY

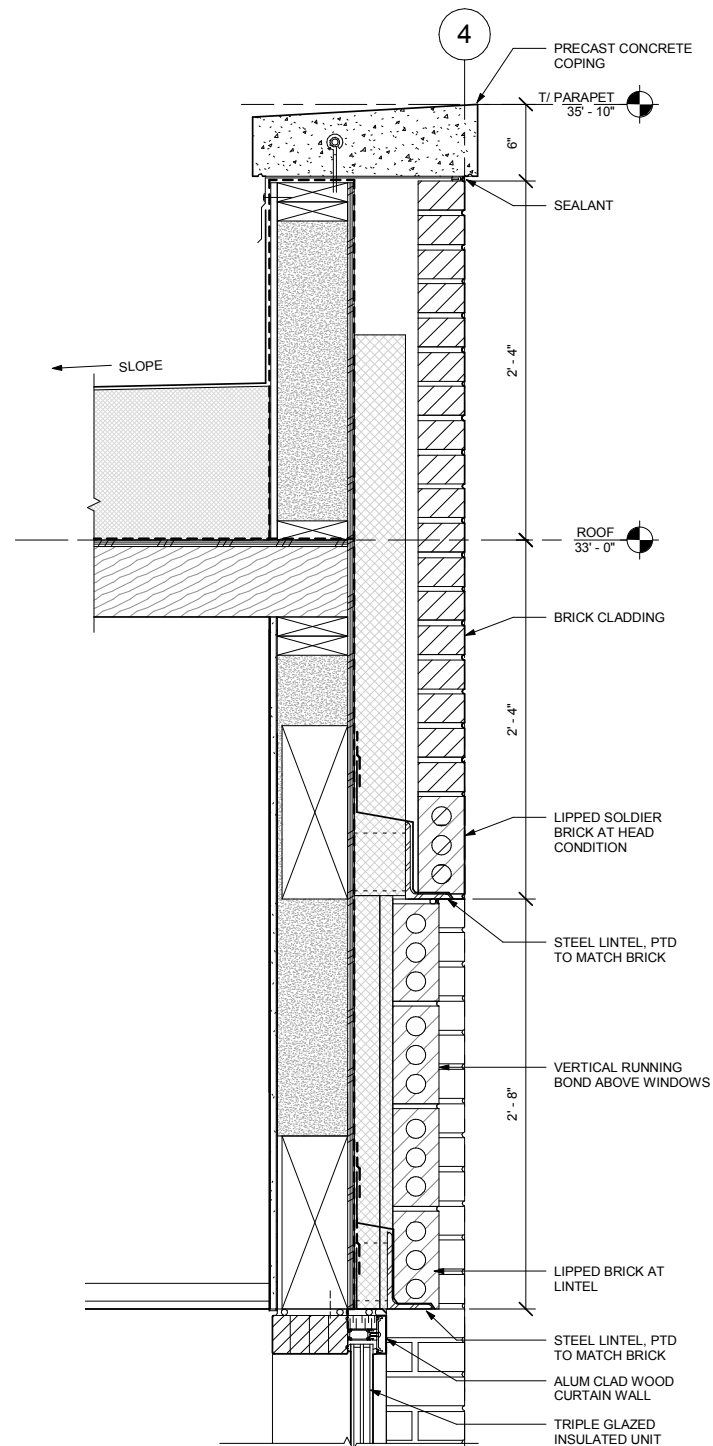


3- WALL SECTION

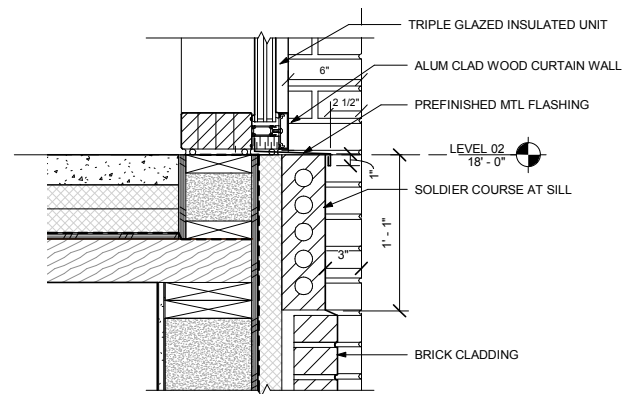


4 - WALL SECTION

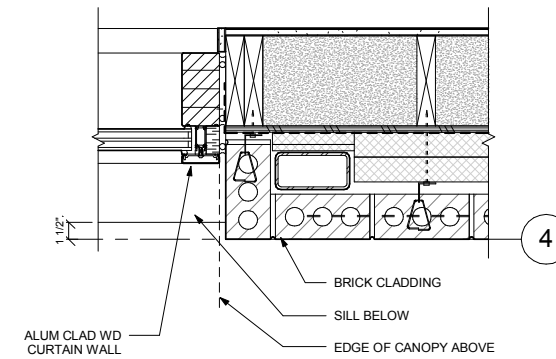
ELEVATIONS & WALL SECTIONS



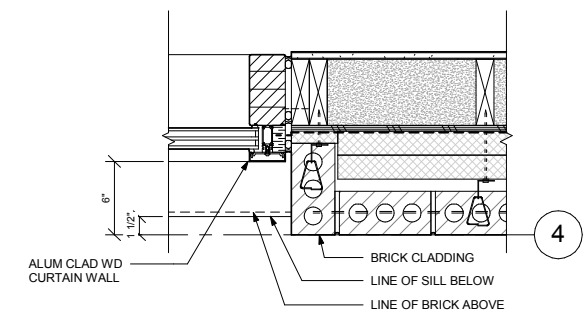
6 - CURTAIN WALL HEAD / PARAPET DETAIL



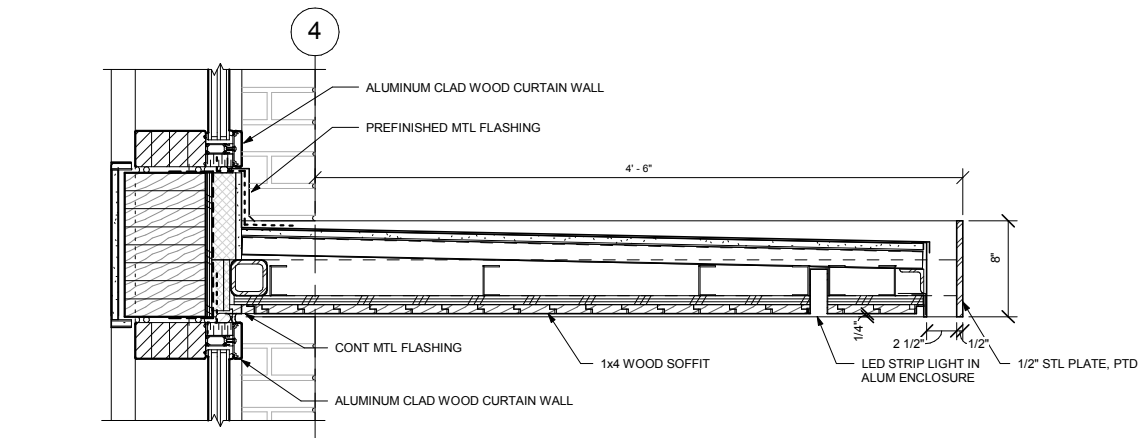
5 - CURTAIN WALL SILL DETAIL



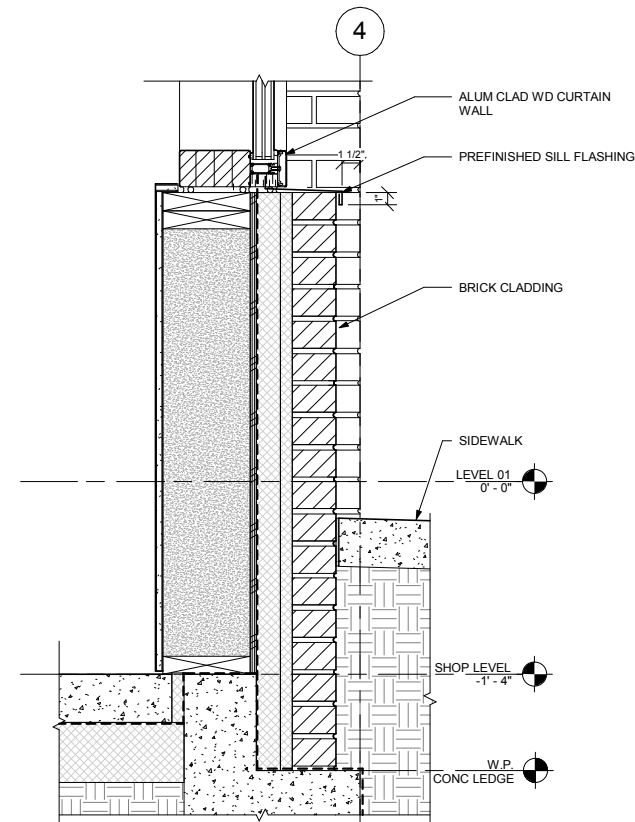
3 - LVL 01 CURTAIN WALL JAMB DETAIL



4 - LVL 02 CURTAIN WALL JAMB DETAIL

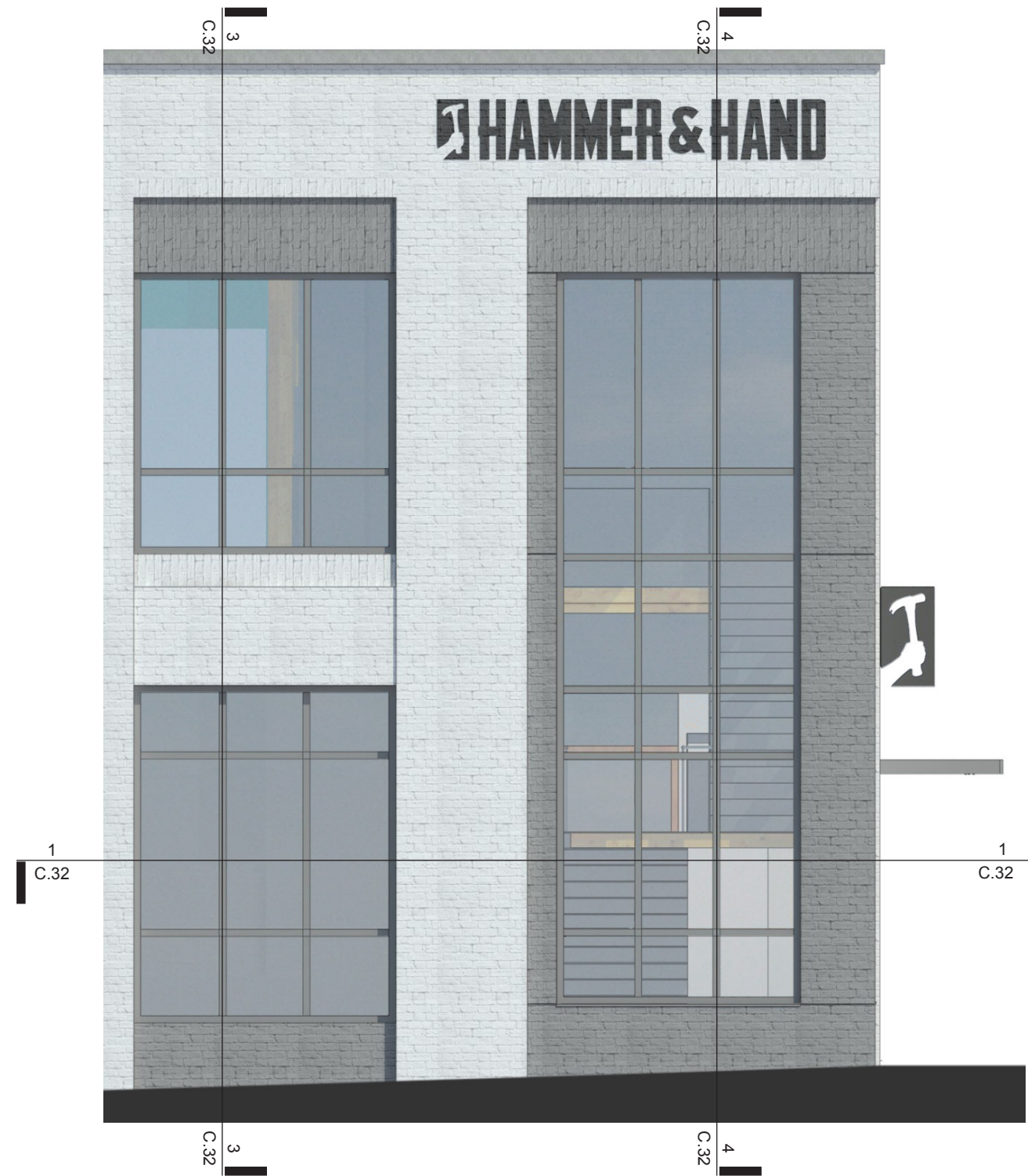


2 - CANOPY DETAIL

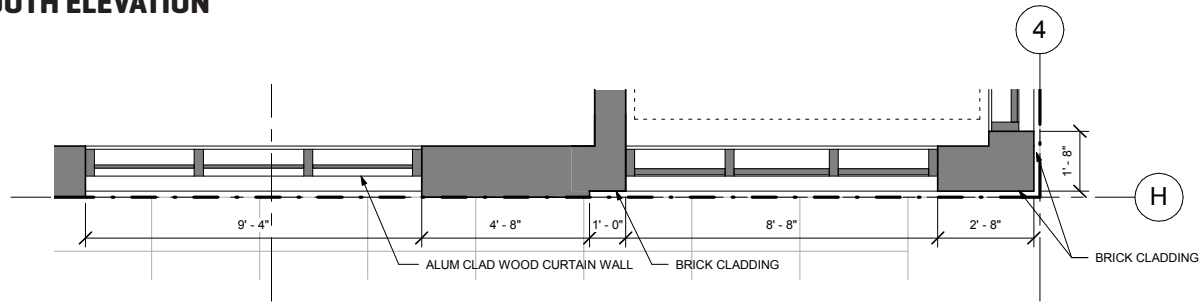


1 - CONCRETE BASE DETAIL

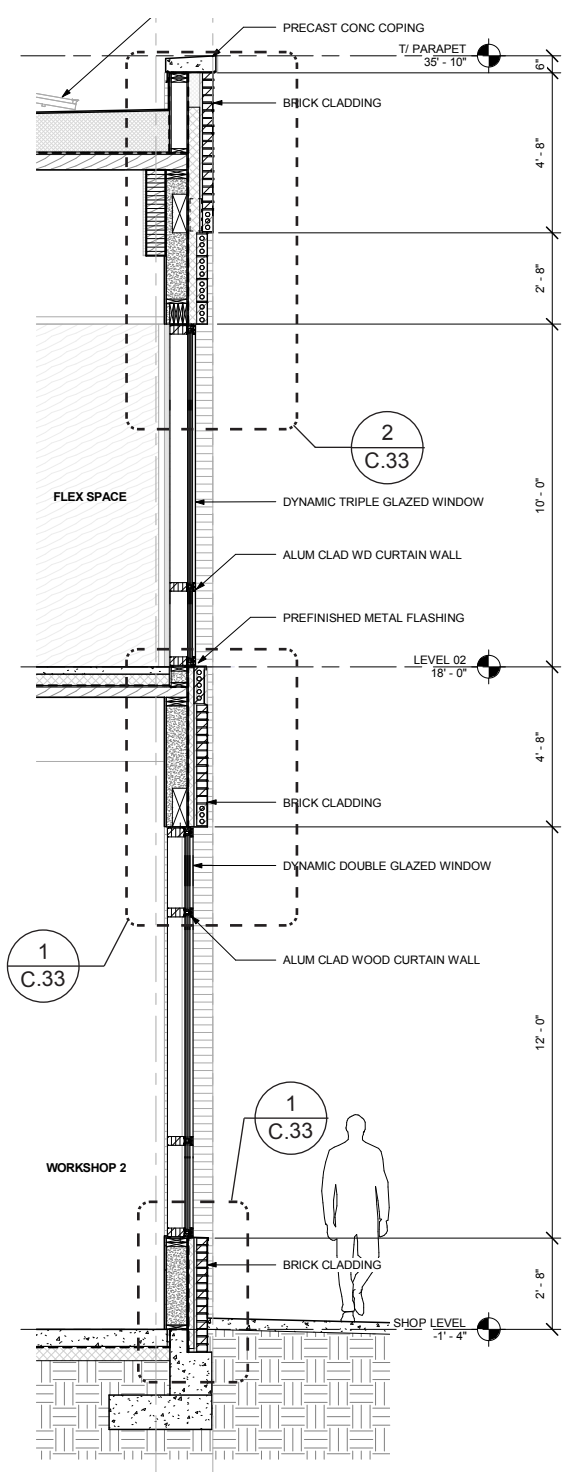
DETAILS



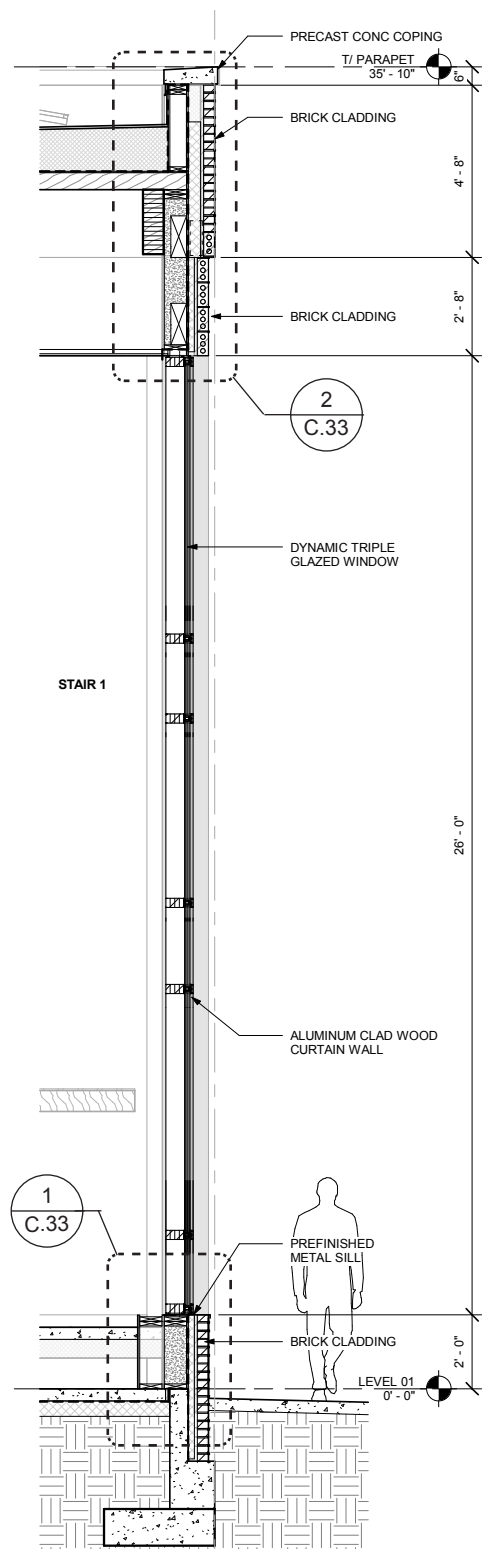
2- SOUTH ELEVATION



1 - ENLARGED FIRST FLOOR PLAN

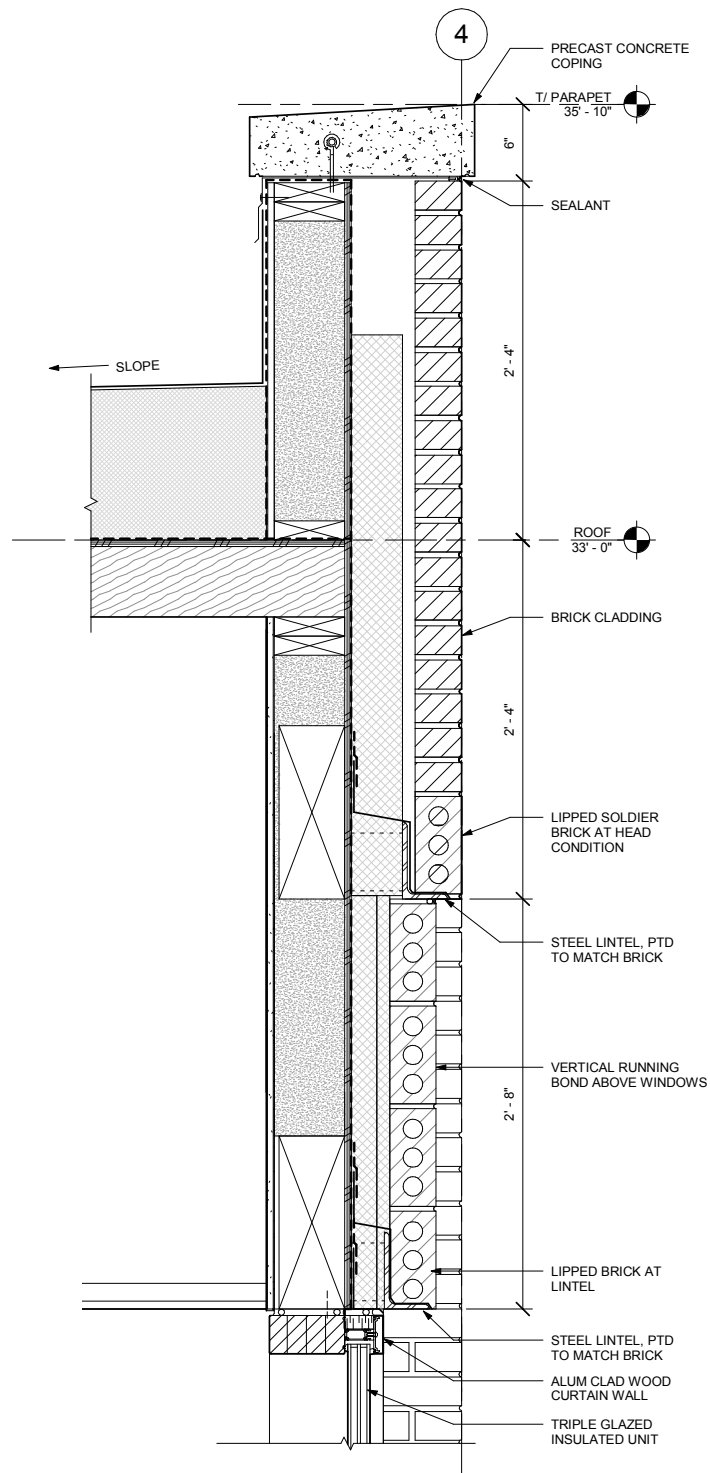


3- WALL SECTION

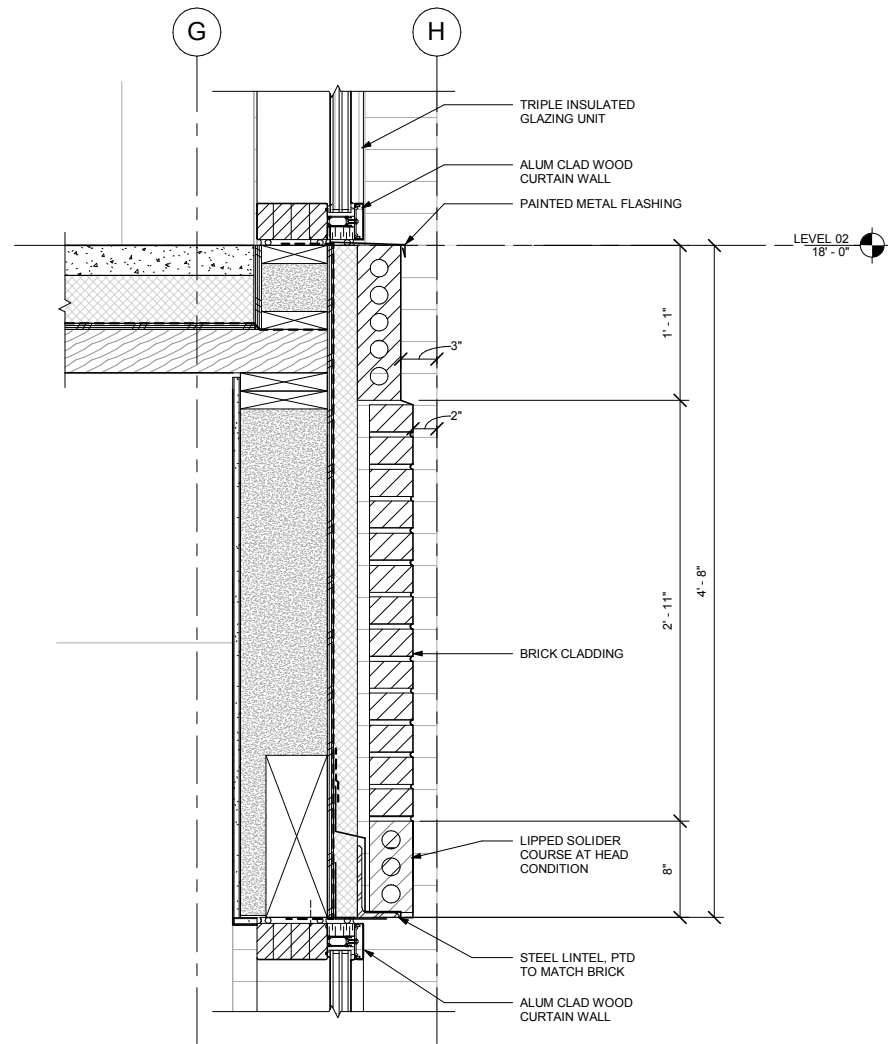


4 - WALL SECTION

ELEVATIONS & WALL SECTIONS



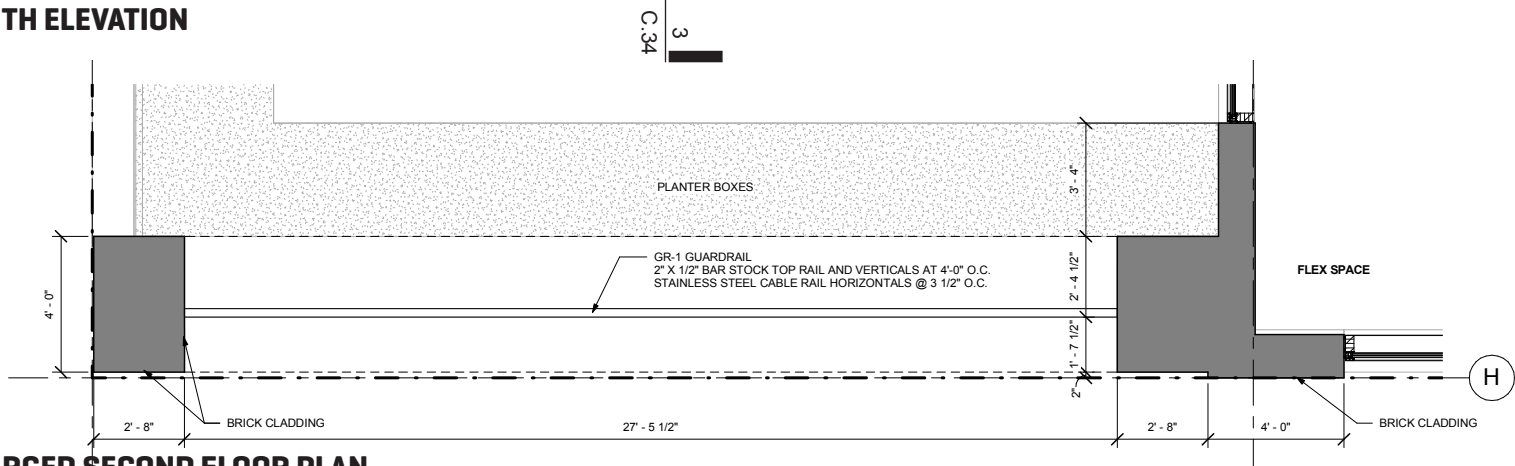
2 - CURTAIN WALL HEAD / PARAPET DETAIL



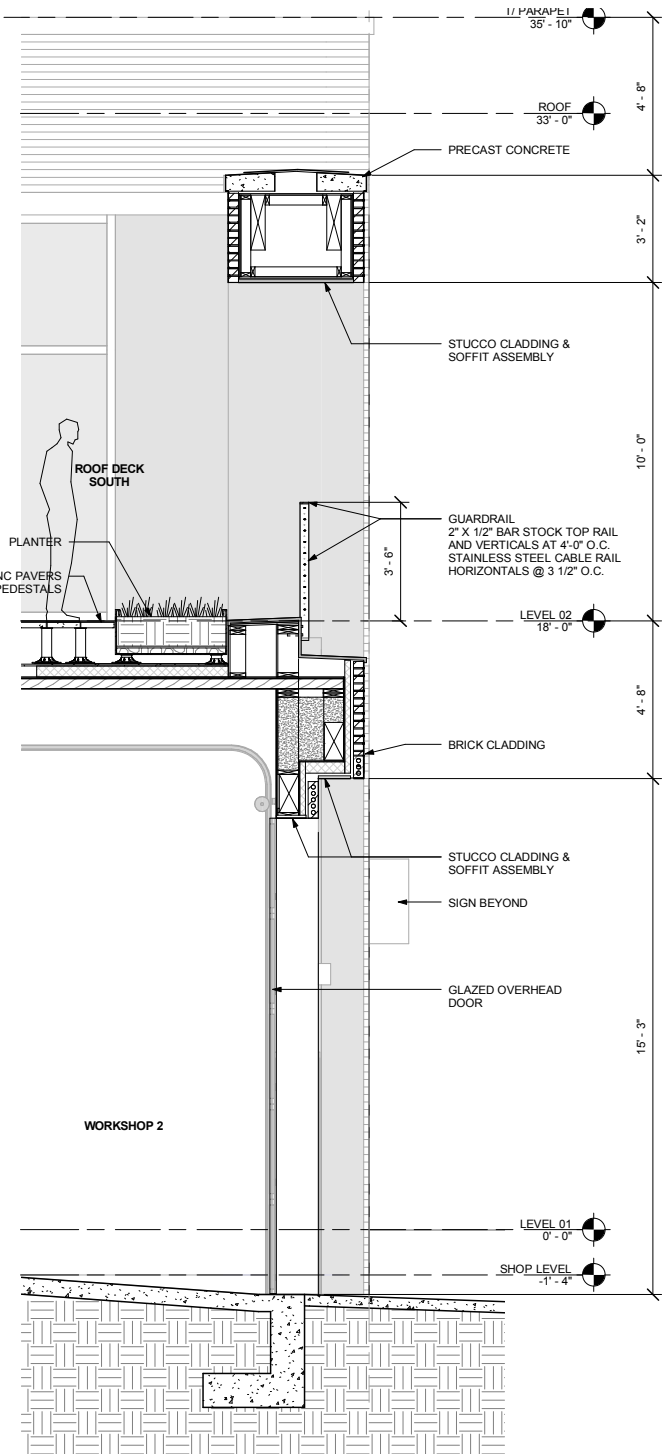
1- CURTAIN WALL SILL DETAIL



2 - SOUTH ELEVATION

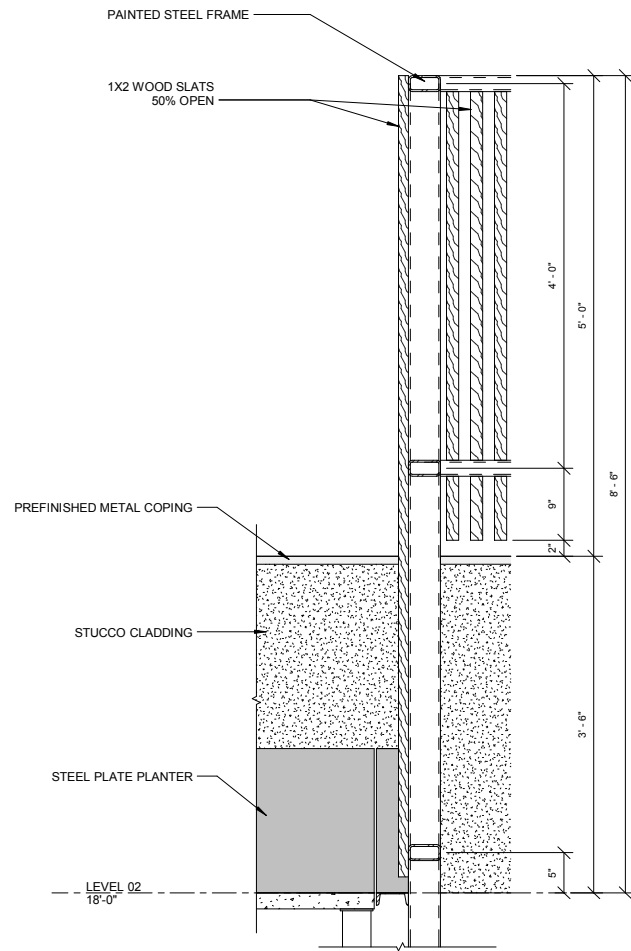


1- ENLARGED SECOND FLOOR PLAN

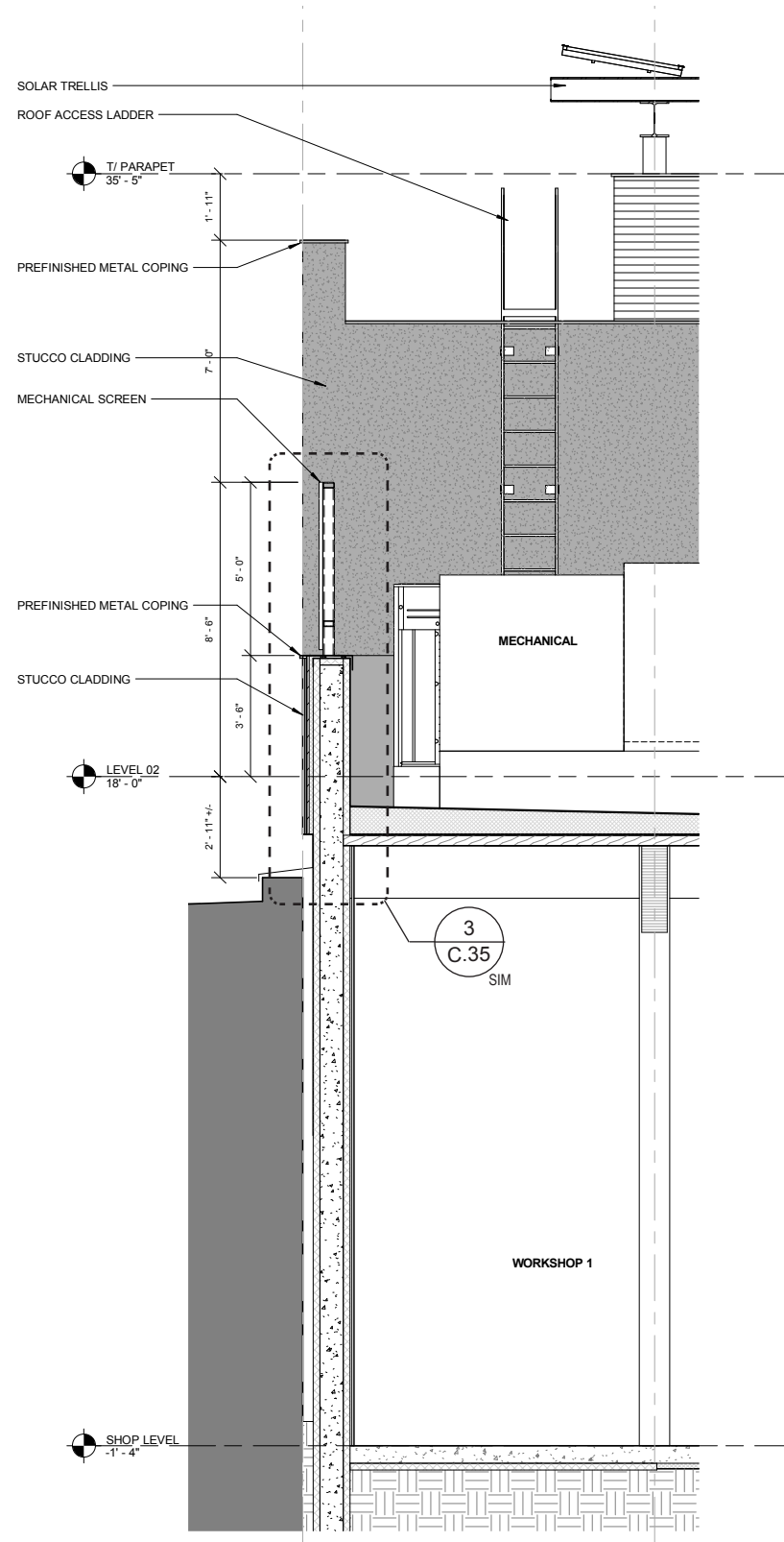


3 - WALL SECTION

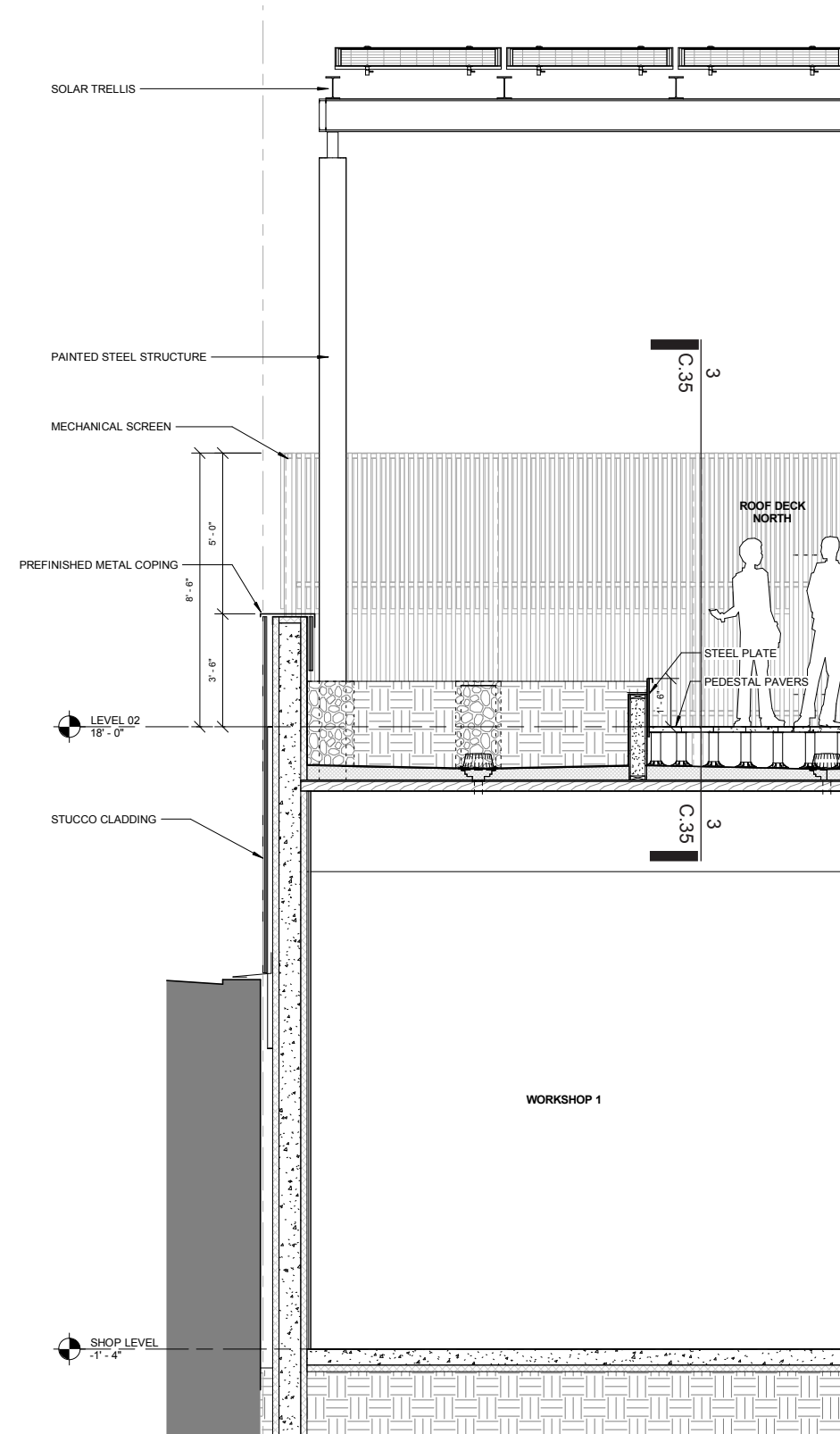
ELEVATIONS & WALL SECTIONS



3 - MECHANICAL SCREEN DETAIL



2 - WALL SECTION



1 - WALL SECTION

WALL SECTIONS



SOUTH ELEVATION - SALMON ST

SIGN A

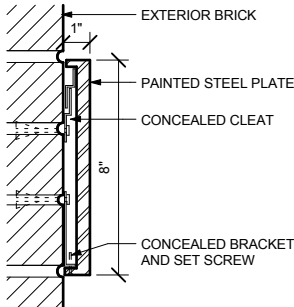
Logo painted in contrasting color over painted brick.



SIGN D



SIGN D SECTION



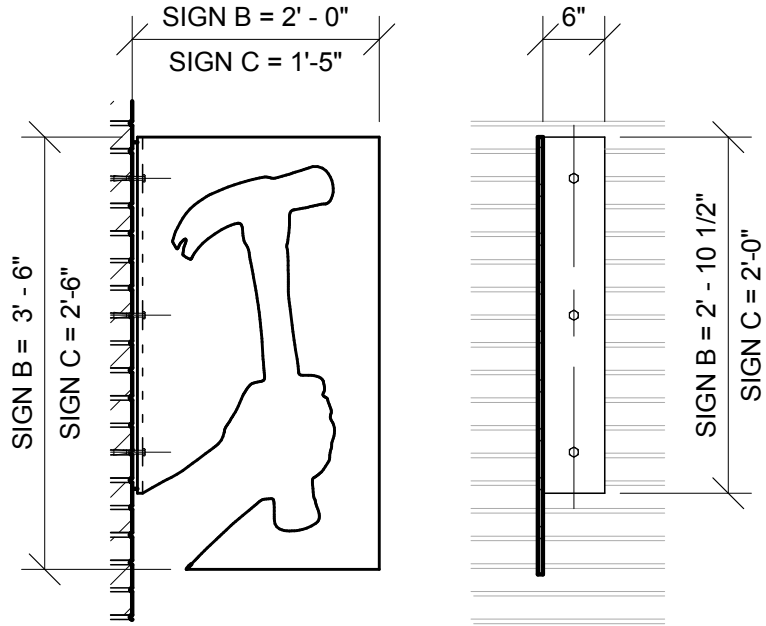
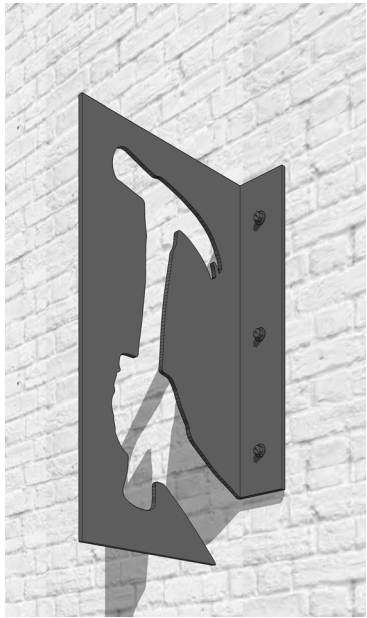
BUILDING SIGNAGE DETAILS



EAST ELEVATION - GRAND AVE

SIGN B & C

1/2" thick bent plate with water-jet cut logo. Painted in contrasting color and surface mounted to painted brick cladding.



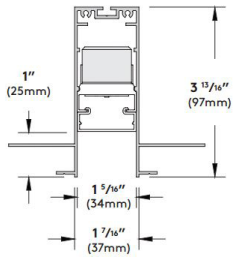
TITLE 32.32.02

Table 2 outlines allowable signage.

ALLOWED 1.5 SF per 1 FT of Primary Building Facade	PROPOSED
South Elevation 90 FT X 1.5 SF = 135 SF ALLOWED	South Elevation 31 SF ACTUAL
East Elevation 100 FT X 1.5 SF = 150 SF ALLOWED	East Elevation 10 SF ACTUAL
North Elevation 90 FT X 1.5 SF = 135 SF ALLOWED	North Elevation 26 SF ACTUAL



RECESSED STRIP LIGHT @ CANOPIES 1



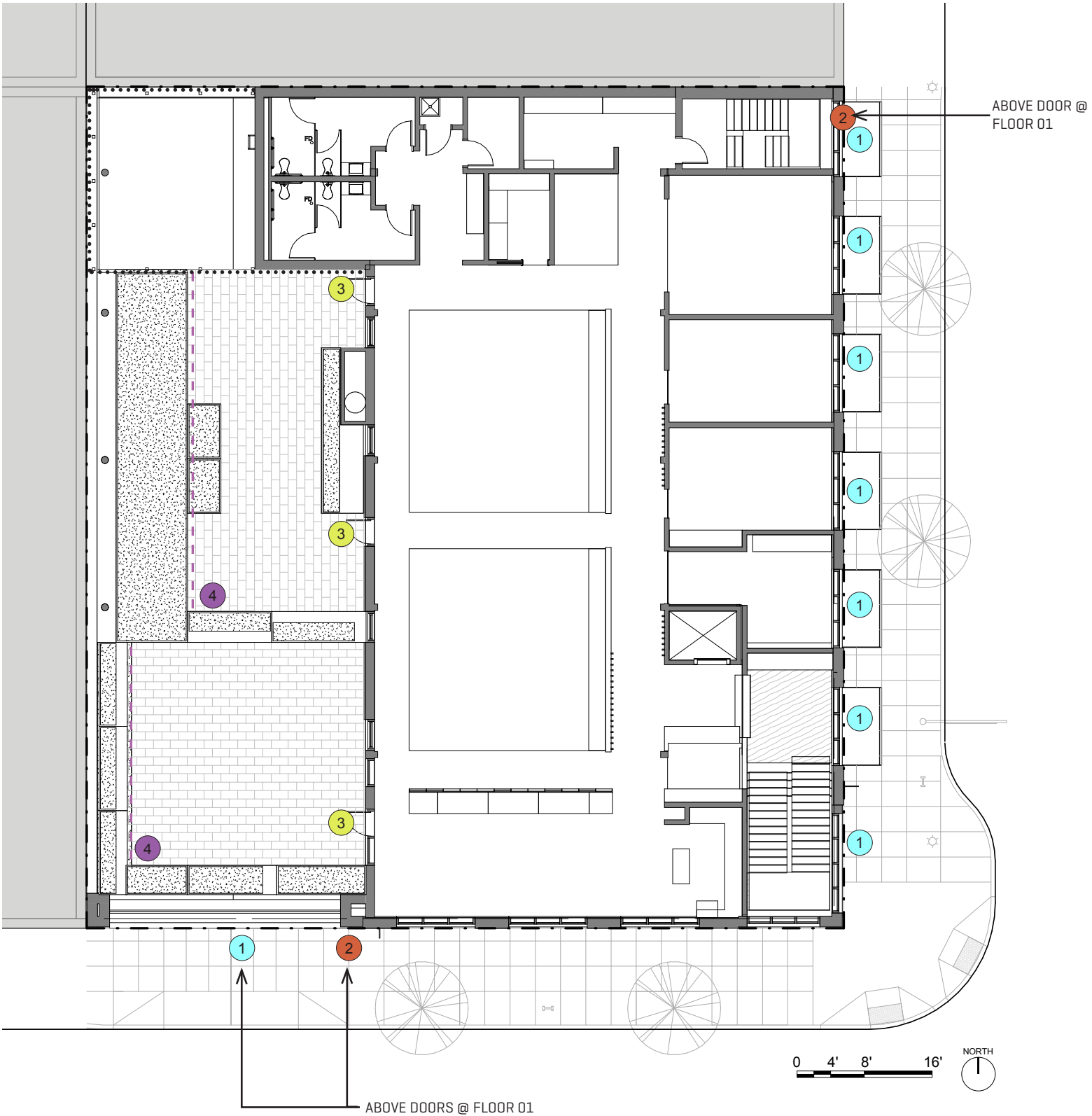
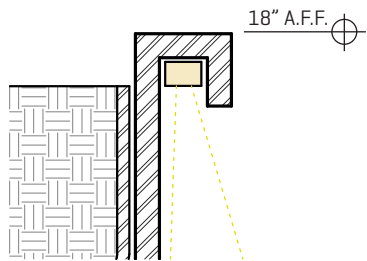
SURFACE MOUNTED DOWNLIGHT 2



DOWNLIGHT IN SOFFIT 3



LED TAPE LIGHT
INTEGRATED INTO PLANTER EDGE DETAIL 4



LIGHTING PLAN





N
0 3/32 3/16 3/8
SCALE: 3/16" = 1'-0"

ROOF TERRACE ELEVATION LOOKING WEST

HAMMER & HAND OFFICE AND WORKSHOP

DESIGN
REVIEW

09.02.2016

LU NO.
16-236871 HR

Title:

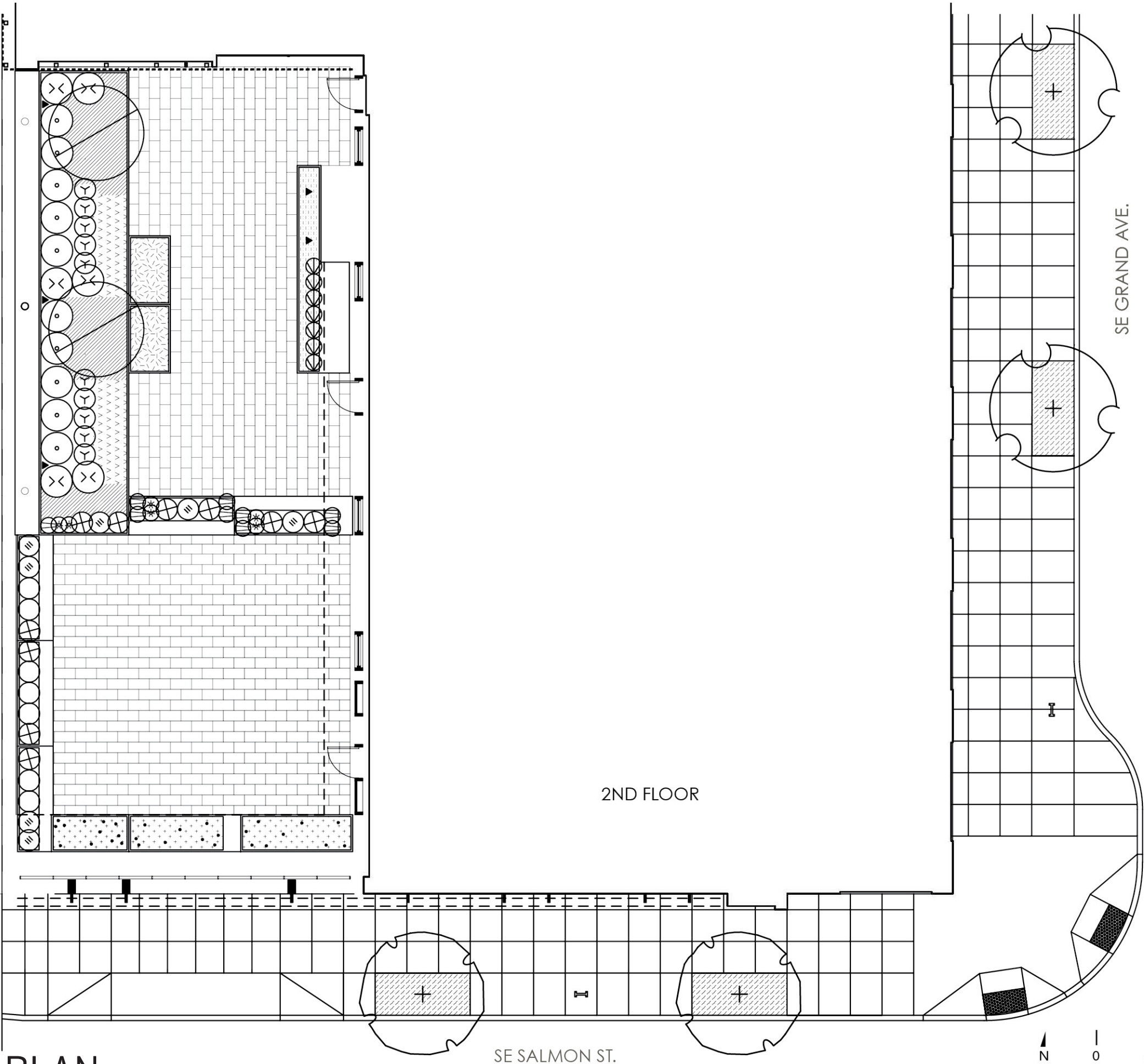
ROOF
TERRACE
ELEVATION

Sheet:

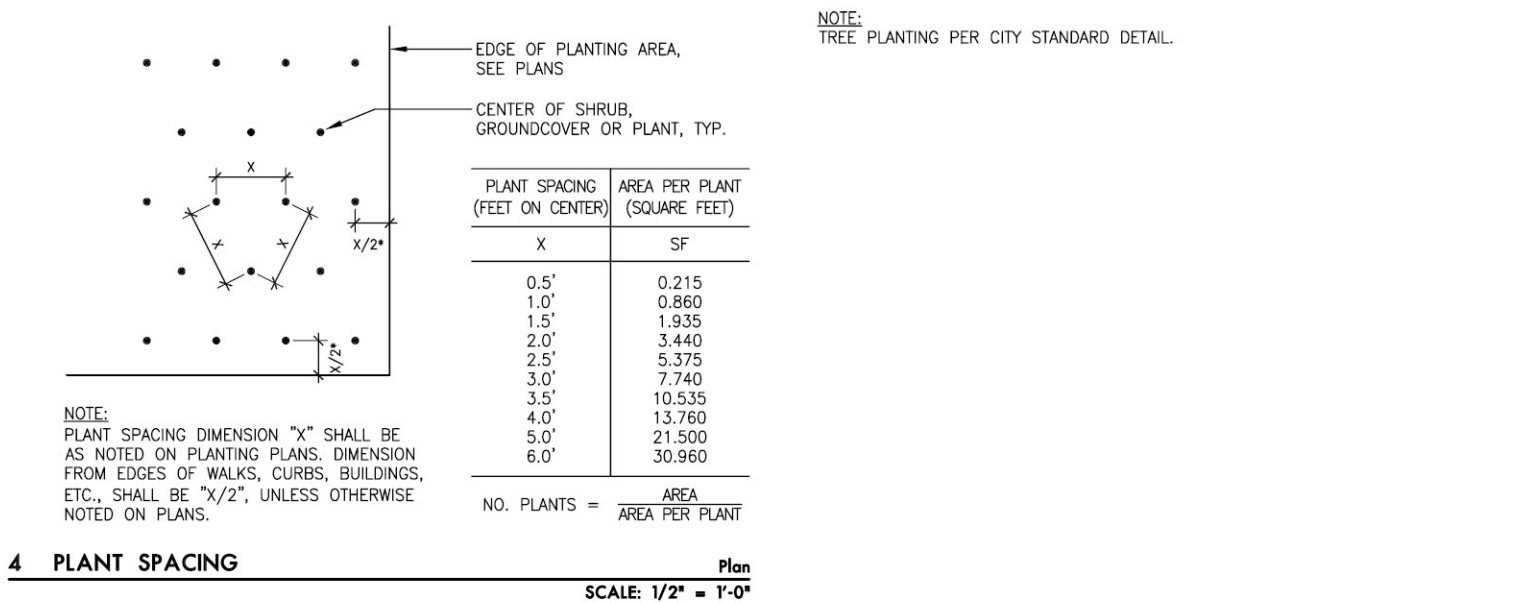
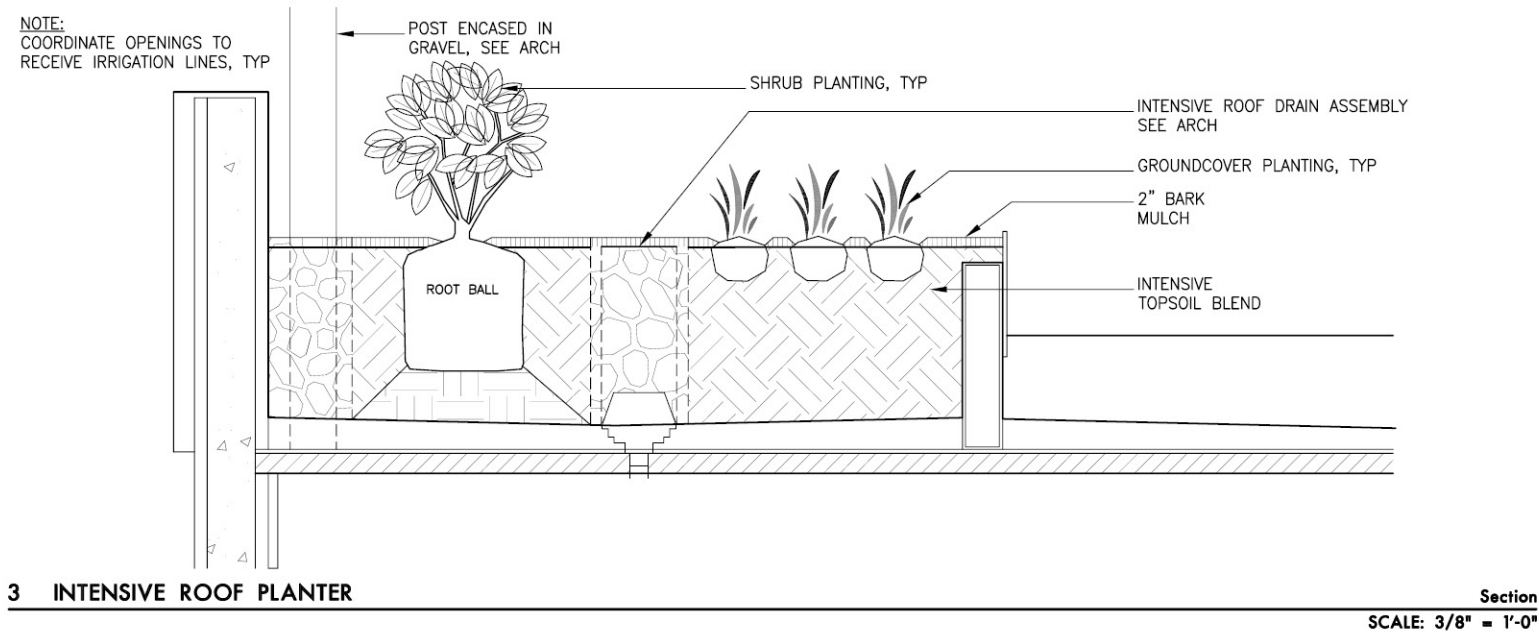
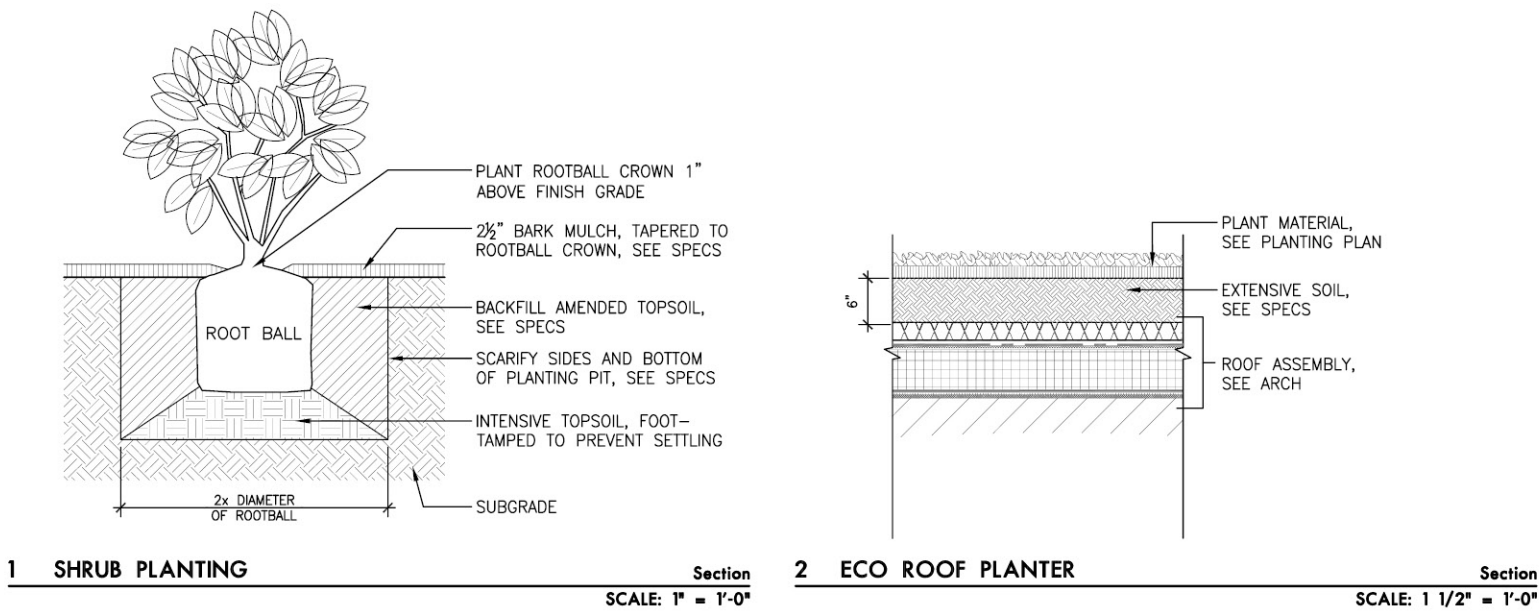
C.39

HOLST
LANGO HANSEN
© 2016 HOLST ARCHITECTURE PC

PLANTING PLAN



SCALE: 10' = 1'-0"



SYMBOL	ABBR	BOTANICAL NAME	COMMON NAME	SIZE/ CONDITION	SPACING
TREES					
	FE	Fraxinus excelsior 'Aureafolia'	Golden Desert Ash	3" CAL., B&B	as shown
	GB	Ginkgo biloba 'Princeton Sentry'	Maidenhair Ginkgo	7' HT, B&B	as shown
	TRJA	Trachelospermum jasminoides	Madison Jamsine	#5/CONT	as shown
SHRUBS					
	ILGL	Ilex glabra 'Nordic'	Nordic Holly	#5/CONT	36" O.C.
	LAIN	Lagerstroemia Indica 'Catawba'	Catawba Crape Myrtle	#10/CONT	9' O.C.
	LAING	Lavandual x Intermedia 'Grosso'	Grosso Lavender	#1/CONT	24" O.C.
	ROOF	Rosmarinus Officinalis 'Goriza'	Goriza Rosemary	#2/CONT	38" O.C.
	SPJA	Spiraea japonica 'Goldflame'	Gold Flame Spiraea	#2/CONT	24" O.C.
ORNAMENTAL GRASSES					
	LIMU	Liriope muscari 'Peedee Gold Ingot'	Peedee Gold Ingot Lily Turf	#1/CONT	18" O.C.
	MISI	Miscanthus sinensis 'Morning Light'	Morning Light Silver Grass	#5/CONT	36" O.C.
	NATE	Stipa tenuissima	Mexican Feather Grass	#2/CONT	24" O.C.
GROUNDCOVERS AND PERENNIALS					
	AJRE	Ajuga reptans 'Chocolate Chip'	Chocolate Chip Ajuga	#1/CONT	18" O.C.
	HEUCH	Heuchera 'Lime Rickey'	Lime Rickey	#1/CONT	18" O.C.
	HELLE	Helleborus 'Cherry Blossom'	Cherry Blossom Center Rose	#1/CONT	as shown
	LESQ	Leptinella Squalida	Brass Buttons	4" POT	12" O.C.
	CEGR	Ceanothus griseus 'Diamond Heights'	Diamond Heights Ceanothum	#2/CONT	18" O.C.
	SEDUM	Sedum Mat Tile Street Groundcover			as shown
	DIUN	Disporpsis undulata 'Sichuan Jade'	Sichuan Jade Solomon's Seal	#2/CONT	18" O.C.
	PATE	Pachysandra terminalis 'Silver Edge'	Silver Edge Pachysandra	#1/CONT	18" O.C.
	SEDUM	Sedum Mat Tile w/ Bulbs	Various Species		as shown
	GANI	Galanthus nivalis	Snowdrop	bulbs	as shown
	MULA	Muscari latifolium	Crape Hyacinth	bulbs	as shown
	SEDUM	Sedum Mat Tile w/ Large Sedums	Various Species		as shown
	SEAU	Sedum autumn joy	Stonecrop Autumn Joy	4" POT	as shown
	SETH	Sedum telephium 'Matrona'	Stonecrop Matrona	4" POT	as shown
	ZACAM	Zauschneria californica mexicana	Common California Fuchsia	#1/CONT	18" O.C.

PLANTING DETAILS



JAKOB WIRE GREEN WALL



PAVERS - VANCOUVER BAY GRAY

ROOF DECK RENDERINGS

PLANTING PALETTE



Miscanthus sinensis 'Morning Light'
Morning Light Silver Grass

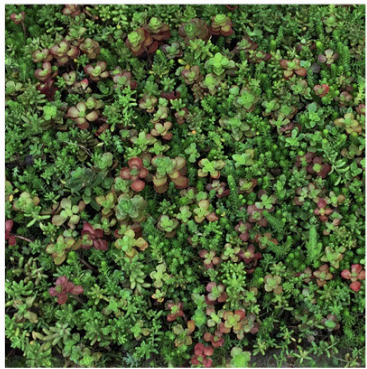


Stipa tenuissima
Mexican Feather Grass



Liriope muscari
Lily Turf

ORNAMENTAL GRASSES



Ilex glabra 'Nordic'
Nordic Holly



Fraxinus excelsior 'Aureaefolia'
Golden Desert Ash



Ginkgo biloba 'Princeton Sentry'
Maidenhair Tree

STREET TREES / GROUNDCOVER



Spiraea japonica 'Goldenflame'
Goldflame Spiraea



Lagerstroemia indica 'Catawba'
Catawba Crepe Myrtle



Lavandula x intermedia 'Grosso'
Grosso Lavandula

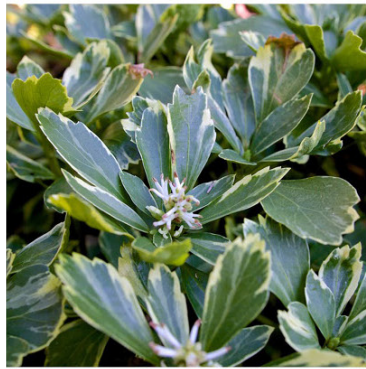


Rosmarinus officinalis 'Goriza'
Goriza Rosemary



Ilex glabra 'Nordic'
Nordic Holly

SHRUBS



Pachysandra terminalis 'Silveredge'
Silveredge Pachysandra



Sedum Mat Tile
Various Species



Helleborus 'Cherry Blossom'
Cherry Blossom Lenten Rose



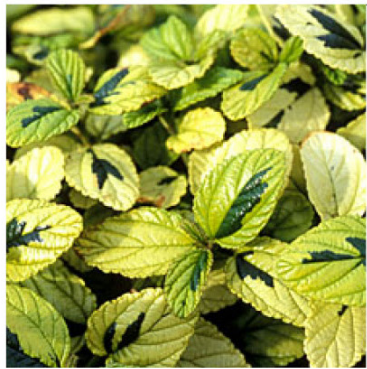
Sedum telephium 'Matrona'
Stonecrop Matrona



Zauschneria californica mexicana
Common California Fuchsia



Sedum 'Autumn Joy'
Stonecrop Autumn



Ceanothus griseus 'Diamond Heights'
Diamond Heights Ceanothus

GROUNDCOVER / PERENNIALS



Trachelospermum jasminoides
'Madison'
Madison Jasmine



Galanthus nivalis
Snowdrop



Muscari latifolium
Grape Hyacinth



Ajuga reptans 'Chocolate Chip'
Chocolate Chip Ajuga



Disporopsis undulata 'Sichuan Jade'
Sichuan Jade Solomon's Seal



Monarda didyman
Brass Buttons

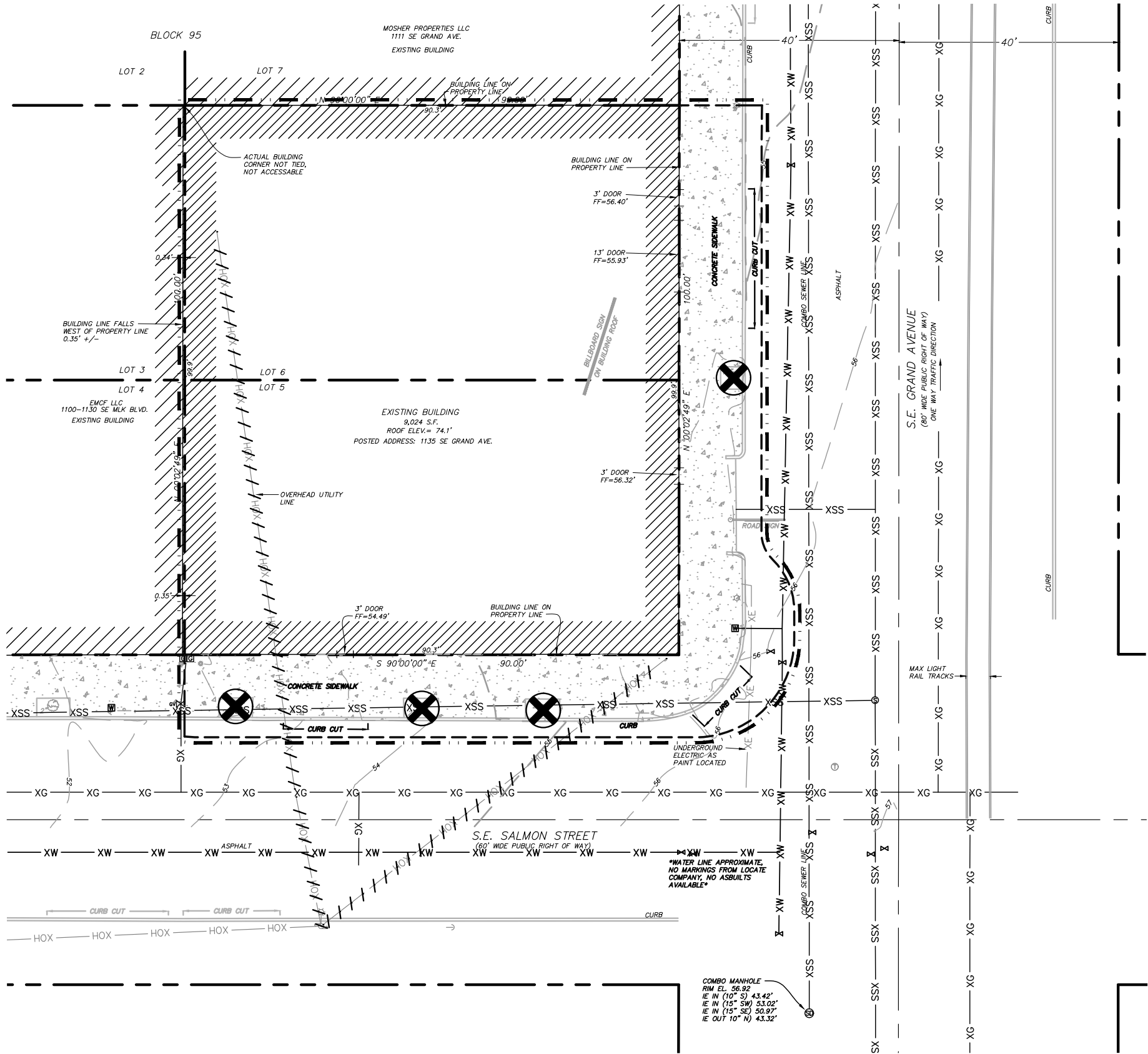


Heuchera 'Lime Rickey'
Limey Rickey

C.44
C.45
C.46

Existing Conditions Plan
Civil Site Plan
Utility Plan

R.O.W.



SHEET LEGEND

- PROPERTY LINE
- DEMOLITION/WORK LIMITS, OFFSET FOR CLARITY
- SAWCUT LINE
- REMOVE OR ABANDON UTILITY LINE IN PLACE
- REMOVE TREE
- EXISTING GRADE CONTOUR

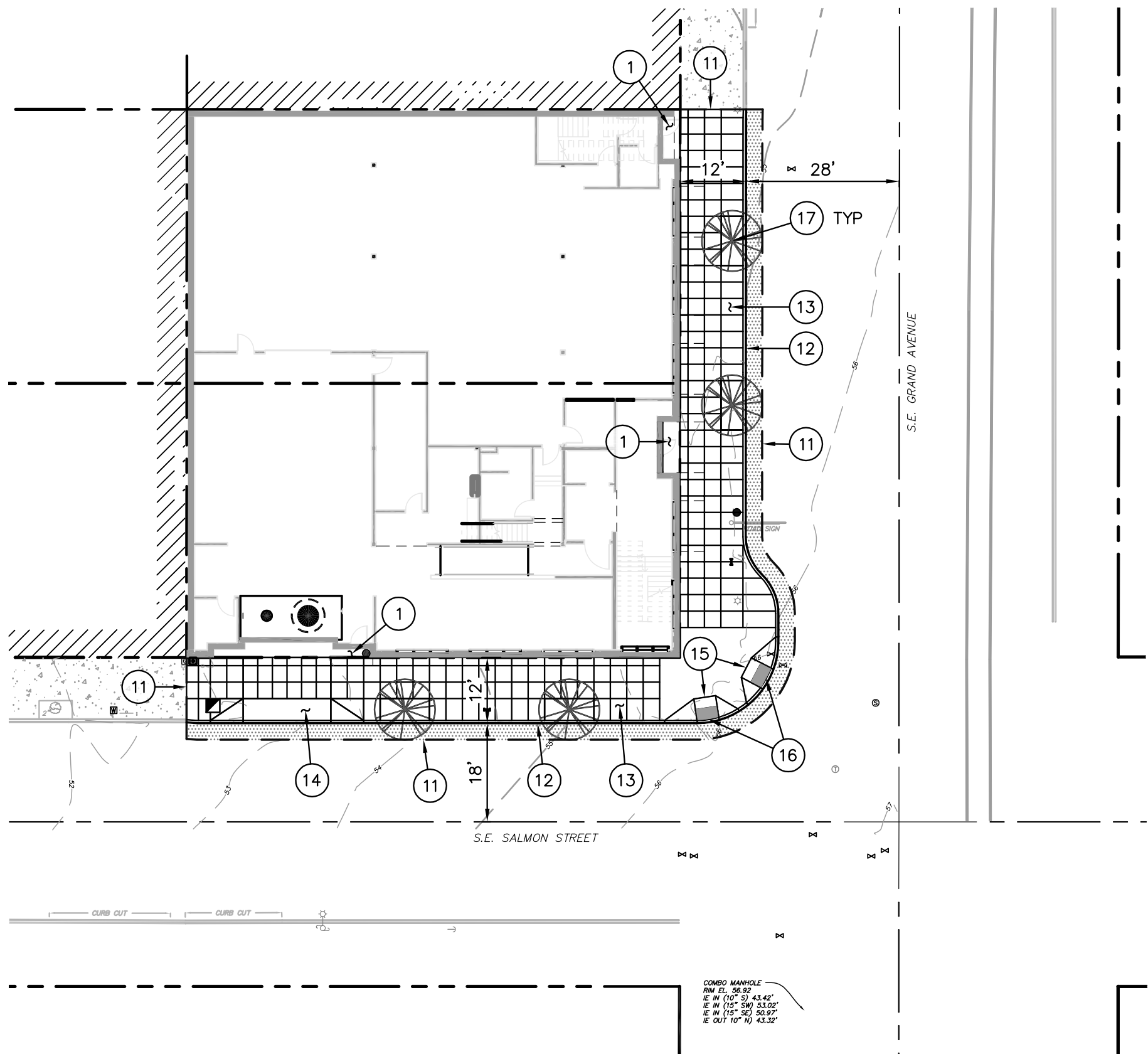


SCALE

1 INCH = 20 FEET



EXISTING CONDITIONS

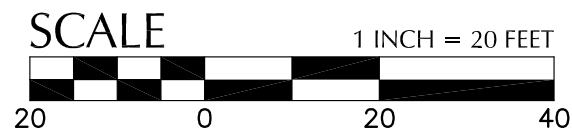
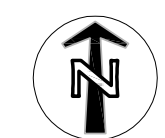


(X) KEY NOTES

- 1 CONCRETE SIDEWALK
- 11 SAWCUT LINE, SEE PBOT PLANS
- 12 CONCRETE CURB, SEE PBOT PLANS
- 13 CONCRETE SIDEWALK, SEE PBOT PLANS
- 14 CONCRETE DRIVEWAY, SEE PBOT PLANS
- 15 STANDARD CURB RAMP, SEE PBOT PLANS
- 16 DETECTABLE WARNING, SEE PBOT PLANS
- 17 PROPOSED COLUMNAR STREET TREE, SEE PBOT PLANS

SHEET LEGEND

	PROPERTY LINE
	SAWCUT
	EXISTING GRADE CONTOUR
	PROPOSED BUILDING
	PROPOSED CONCRETE SIDEWALK
	PROPOSED TREE



SITE PLAN



THE REDEVELOPED SITE WILL BE ENTIRELY BUILDING ROOF. THE ROOF OF THE NEW BUILDING WILL BE ROUTED TO A SEDIMENTATION MANHOLE FOR PRE-TREATMENT BEFORE BEING ROUTED TO THE PROPOSED DRYWELL FOR DISPOSAL. THE PROPOSED PROJECT WILL FALL UNDER HIERARCHY CATEGORY 2.

IN THE EVENT OF A STORM EVENT BEYOND THE 100-YEAR DESIGN STORM, IF PONDING SHOULD OCCUR, THE EMERGENCY OVERFLOW ROUTE INTO SE SALMON STREET, VIA THE GARAGE DRIVEWAY CONNECTING TO SE SALMON STREET.

SHEET LEGEND

- | | |
|-----|-------------------------------------|
| DCD | DOUBLE CHECK DETECTOR ASSEMBLY |
| DW | DRYWELL |
| FDC | FIRE DEPARTMENT CONNECTION |
| FP | FIRE PROTECTION POINT OF CONNECTION |
| S | SANITARY SEWER POINT OF CONNECTION |
| SD | ROOF DRAIN CONNECTION |
| SED | SEDIMENTATION MANHOLE |
| W | WATER POINT OF CONNECTION |



1kpff

SCALE

1 INCH = 20 FEET



UTILITY PLAN

DRYWELL LOCATION PENDING APPEAL ID: 14630

THIS PAGE INTENTIONALLY LEFT BLANK

DESIGN
REVIEW

09.02.2016

LU NO.
16-236871 HR

Title:

SHEET TITLE

Sheet:

APPENDIX

C.50	Lighting Cut Sheets
C.51	Lighting Cut Sheets
C.52	Lighting & Trellis Cut Sheets
C.53	Timber Curtain Wall Cut Sheets
C.54	Mechanical Cut Sheets
C.55	Mechanical Cut Sheets
C.56	Mechanical Cut Sheets
C.57	Bike Rack Cut Sheets

DESIGN REVIEW

09.02.2016

LU NO.
16-236871 HR

Title:

LIGHTING
CUT SHEETS

Sheet:

C.52

Date: _____ Customer: _____

Project: _____

Type: _____ Qty: _____

M36
LED
Regressed



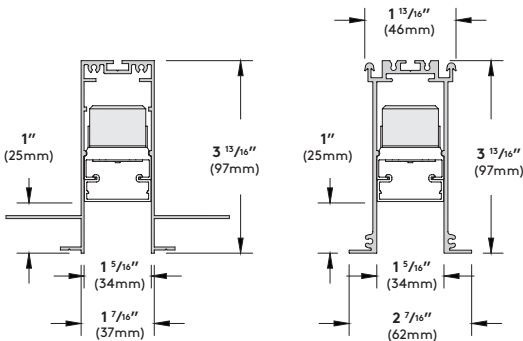
Order Code:												
	Series	L36J Multi-Mount Form		L36JR1 Continuous Flange (Flanged Endcaps)		L36JR2 Continuous Flange (Flangeless Endcaps)						
	Light Engine	1A35 ¹ 642lm/9.3W per foot	1A30 ^{1,2} 565lm/8.0W per foot	1A25 ^{1,2} 475lm/6.6W per foot	1A20 ^{1,2} 385lm/5.4W per foot	¹ Values calculated from a 4' fixture @4000K using LW Shielding and DM driver. For additional information please see page 2. ² Available starting at 2' and up.						
	CCT	27 2700K	30 3000K	35 3500K	40 4000K							
	Shielding	LW LED Optimized white lens	MI Clear Lens w/micropism	NB LMO Symmetric	A2 LMO Asymmetric 20° Wall Washer	A5 LMO Asymmetric 5° Wall Grazer	BW LMO Batwing					
	Mounting L36	SF2 Spackle Flange (5/8" Drywall)										
	Mounting L36R1 or L36R2	TB ³ T-Bar Length w/ suspension clips	TBS ³ T-Bar Length w/1" 1/4-20 Stud	PMT ³ T-Bar Length Perimeter Mount	RC ⁴ Rotating Crossbar (Ceilings 1/4 to 2" thick)	TS 1" 1/4-20 Stud	PM Perimeter Mount	³ L36R1 only ⁴ Consult factory for lengths under 2'				
	Nominal Fixture Length	01" 1 ft.	02 ⁵ 2 ft.	03 3 ft.	04 ⁵ 4 ft.	05 ⁵ 5 ft.	06 ⁵ 6 ft.	07 7 ft.	08 ⁵ 8 ft.	XX Runs (over 8') and Configurations, round up to the nearest foot and replace the "xx" with the # (i.e. 09=09' nominal)	⁵ Length intended to fit centered between the grid for TB, TBS, PMT mountings.	
		¹ 1' fixture only available with 1A35 light Individual fixtures, Runs and Configurations are supplied in nominal lengths to ensure full, even, illumination. See pages 2 thru 6 for additional details.										
	Finish	WH White	BK Black	SV Silver	SP Specify Premium Color	Custom colors are available, Please consult factory						
	Voltage	120 120 Volt	277 277 Volt	UNV 120 thru 277 50/60hz capable								
	Driver	DIM ⁶ 0-10V (Linear)	DM ⁶ eIdoLED SOLOdrive 0-10V (Linear)	DML ^{6,7} eIdoLED SOLOdrive 0-10V (Logarithmic)	DMD ^{6,7} eIdoLED DALI (Logarithmic)	DC2 ^{6,7,8} Lutron 2-Wire	DC3 ^{6,7} Lutron 3-Wire	DCE ^{6,7} Lutron Eco-System	⁶ See page 6 for full details ⁷ Not available for 1' length ⁸ 120V only			
	Fixture Options	DL ⁹ Damp Location Rated	FS ⁹ In-line Fuse	SS ⁹ Separate Switching	CCEA ¹⁰ CCEA approved	C9 ¹¹ 90CRI	⁹ See page 7 for full details and restrictions ¹⁰ Not available with EMN option ¹¹ For 2700K and 4000K consult factory					
	Emergency Options	EC ¹² Emergency Circuit Wiring	EMN ^{13,14} EM battery pack (Non-IC-rated)								¹² See page 7 for full details and restrictions ¹³ 120 or 277 Volt only ¹⁴ Not available on lengths under 4'	
	Configuration Options	IL90 ¹⁵ Lit Horizontal	V90 ¹⁵ Lit Inverted	IT90 ¹⁵ Lit "I" section	IX90 ¹⁵ Lit "X" section	¹⁵ See pages 8 and 9 for full details and restrictions						



Selux Corporation © 2016, T 845-834-1400, 800-735-8927, F 845-834-1401, www.selux.us
In a continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Specification sheets found at www.selux.us are the most recent versions and supercede all other printed or electronic versions.

selux

M36
LED
Regressed



Construction:

Housing - Continuous, low copper 6063-T6 extruded aluminum profile with aluminum endcaps, available as Individual fixtures (up to 12') or Runs.

Flange - 9/16" (14mm) wide flange runs full lengths of both sides and is part of the main extruded body. Specify continuous flange (L36JR1) or flush (L36JR2) end cap. L36JR2 does not work in T-Bar ceiling.

Geartray - Low copper 6063-T6 extruded aluminum profile.

Shielding - Extruded, impact resistant acrylic lens:
- LED optimized white lens (LW)
- Clear lens with micropism inlay (MI)
- "LMO" symmetric lens (NB)
- "LMO" Asymmetric 5° wall grazer (A5)
- "LMO" Asymmetric 20° wall washer (A2)
- "LMO" Batwing (BW)
- LED optimized Light Up Lens (LU)
- LED optimized Drop Lens (DL)
- Specular louver with high efficiency diffuser (VE)
- Specular louver with comfort diffuser (VC)
"LMO" refers to the Selux proprietary LED optical system - Light Modulation Optics.

Mounting(s) - Spackle in (drywall), T-bar grid, Perimeter, Rotating Crossbar and Threaded Stud Mountings (see pages 3 thru 5 for details).

Standard Luminaire lengths - All standard luminaires are supplied in nominal lengths to ensure full, even, illumination. Runs and Configurations are available in approximately 1 1/2" increments starting at the nominal 8' fixture length.
** Individual luminaires are not joinable in the field.

Exact length luminaires - Individual luminaires, runs, and configuration are available in exact lengths to meet your project needs. Please consult factory with you requirements.
** Lens luminance may soften at the very ends of the straight sections for exact length luminaires.

selux

Luminaire Finish:

Powder Coat - All Selux luminaires are finished in high quality polyester powder coating in our Tiger Drylac certified facility and are tested in accordance with test specifications for coatings from ASTM and PCI.

All products undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphated, and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultra violet resistance for color retention.

Standard interior colors are White (WH), Black (BK), and Silver (SV). Selux premium colors (SP) are available, please specify from your Selux color selection guide.

Warranty:

5 Year Limited LED Luminaire Warranty - Selux offers a 5 Year Limited Warranty to the original purchaser that the M36 series LED luminaire shall be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the LED driver and LED light engine when installed according to Selux instructions and operated within the Ambient Temperature. For additional details and exclusions, see "Selux Terms and Condition of Sale."

Certifications and Compliance:

NRTL - For Dry and Damp location
(I.E. cULus; cCSAus)
ARRA Compliant
RoHS Compliant
IC-Rated *

*EMN option is Non-IC-rated

Thermal Performance:

Ambient Operating Temperature - Luminaires suitable for Max. ambient temperature of 35° C (95° F) for all drivers.

Min. ambient temperature of:
-20°C (-4°F) for DIM, DM, DML and DMD drivers.
0°C (32°F) for DC2, DC3 and DCE drivers.

Selux Corporation © 2016, T 845-834-1400, 800-735-8927, F 845-834-1401, www.selux.us
In a continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Specification sheets found at www.selux.us are the most recent versions and supercede all other printed or electronic versions.

Page 2 of 11
(Rev. 05/2016)
M36LED Regressed_v1.4

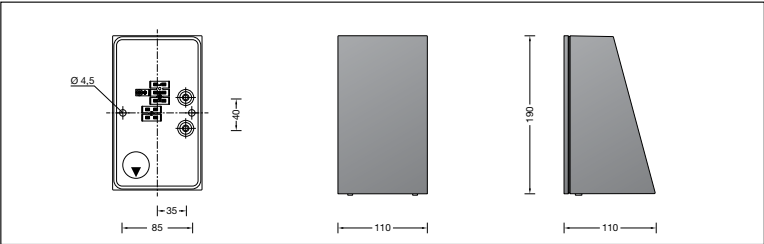
LED LINEAR LIGHT IN CANOPIES

LIGHTING CUT SHEETS

		BEGA Lichttechnische Spezialfabrik Hennenbusch · D - 58708 Menden		BEGA	
Product data sheet		Wall luminaire		IP 64	
				33 814	
Project · Reference number			Date		

Application
Shielded wall luminaire with symmetrical light distribution makes it particularly well-suited for installation on columns and wall faces. The used LED technique offers durability and optimal light output with low power consumption at the same time.

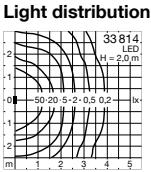
Product description
Luminaire made of aluminium alloy, aluminium and stainless steel
Safety glass with optical structure
Silicone gasket
Reflector made of anodised pure aluminium
2 fixing holes ø 4.5 mm
85 mm spacing
2 cable entries for through-wiring of mains supply cable up to ø 10.5 mm, max. 5 G 1.5²
Connecting terminal and earth conductor terminal 2.5²
LED power supply unit
220-240 V ~ 0/50-60 Hz
DC 176-264 V
DALI controllable
A basic isolation exists between power cable and control line.
Safety class I
Protection class IP 64
Dust-tight and protection against splash water
Impact strength IK06
Protection against mechanical impacts < 1 joule
CE – Conformity mark
Weight: 1.2 kg



Lamp		Article No. 33 814
Module connected wattage	10.5 W	Colour temperature 3000 K.
Luminaire connected wattage	12.7 W	Also available with 4000 K on request.
Rated temperature	t _a = 25 °C	3000 K – article number
Ambient temperature	t _{a, max} = 30 °C	4000 K – article number + K4
Service life criteria	50 000 h / L ₇₀	Colour graphite or silver
		graphite – article number
		silver – article number + A

33 814	
Module designation	LED-0322/830
Colour temperature	3000 K
Colour rendering index	R _a > 80
Module luminous flux	1230 lm
Luminaire luminous flux	764 lm
Luminaire luminous efficiency	60,2 lm/W

33 814 K4	
Module designation	LED-0322/840
Colour temperature	4000 K
Colour rendering index	R _a > 80
Module luminous flux	1320 lm
Luminaire luminous flux	819 lm
Luminaire luminous efficiency	64,5 lm/W



LED WALL SCONCE AT SOUTHERN EXIT DOOR AT GRADE

DESCRIPTION

4 inch LED square recessed downlight with 50° cut off specially designed for LED technology. Two-stage reflector system produces smooth distribution with excellent light control and low aperture brightness. Lumen packages include 900, 1300, 1800 and 2800 lumens with color temperatures of 2700K, 3000K, 3500K, 4000K. Available with dim-to-warm technology – similar to halogen at full power, the 3000K LED warms smoothly as dimmed to 1850K creating a rich warm glow within the space.

SPECIFICATION FEATURES

Lower Parabolic Reflector
Aluminum lower reflector in combination with a lensed upper optical chamber provides superior lumen output with minimal source brightness. Available in all Portfolio Alzak® finishes.

Trim Retention
Reflector is retained with two torsion springs holding the flange tightly to the finished ceiling surface.

Plaster Frame / Collar
Galvanized steel plaster frame with adjustable collar adjusts for up to 2" thick ceilings and rotates+/- 7.5°.

Universal Mounting Bracket
Accepts 1/2" EMT, C channel and bar hangers and adjusts 5" vertically from above and below the ceiling.

Junction Box
(4) 1/2" and (2) 3/4" trade size pry outs positioned to allow straight conduit runs. Listed for (8) #12 AWG (four in, four out) 90°C conductors and feed thru branch wiring.

Thermal
Extruded aluminum heat sink conducts heat away from the LED module for improved performance and longer life.

LED
LED system contains a plurality of high brightness white LED's combined with a high reflectance upper reflector and convex transitional lens producing even distribution with no pixilation. Rated for 50,000 hours at 70% lumen maintenance. Auto resetting, thermally protected, LED's are turned off when safe operating temperatures are exceeded. Color variation within 3-step MacAdam ellipses. Flexible disconnect allows for tool-less replacement of LED engine from below ceiling. Available in 80 or 90 CRI.
D2W™ – dim-to-warm shifts CCT from 3000K to 1850K as fixture dims mimicking halogen sources.

Driver
Combination 0-10V/trailing edge driver provides flicker free dimming from 100% to 10%.

Catalog #	Type
Project	
Comments	Date
Prepared by	

Optional 1% 0-10V, Fifth Light, DMX or Lutron® Ecosystem. Driver can be serviced from above or through the aperture.

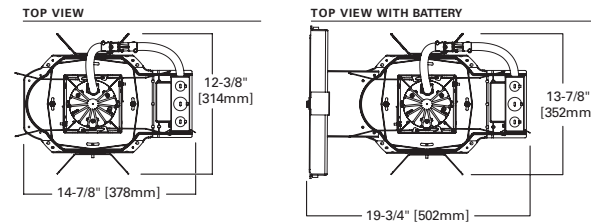
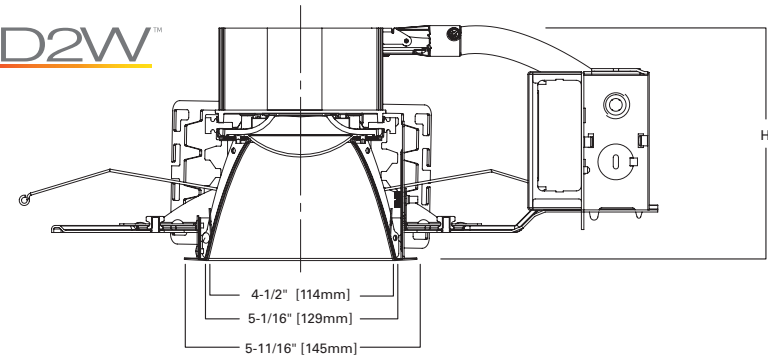
Code Compliance
Thermally protected and cULus listed for protected wet locations. Optional City of Chicago environmental air (CCEA) marking for plenum applications. EMI/ RFI emissions per FCC 47CFR Part 18 Class B consumer limits. Non-IC rated - Insulation must be kept 3" from top and sides of housing. RoHS Compliant. Title 24 Compliant with designated trims. Photometric testing completed in accordance with IES LM 79 standards. LED life testing completed in accordance with LM 80 standards.

Warranty
5-year warranty.



LDSQ4A09
LDSQ4A13
LDSQ4A18
LDSQ4A28
4LSQ
900, 1300 Lumen LED
1800, 2800 Lumen LED

4-Inch Square
Downlight



		H
900/1300 Lumen	D010TE	5-9/16"
	D010TR	
	DL3	
	DLT	
900/1300 Lumen	D5LT	7-9/16"
	DMX	
	DE010	
1800/2800 Lumen	All	7-9/16"



ADP110839
2016-06-17 12:36:12

LED DOWN LIGHT IN SOFFIT ON ROOF DECK

LIGHTING CUT SHEETS

DESIGN REVIEW
09.02.2016
LU NO.
16-236871 HR
Title:
LIGHTING CUT SHEETS

INFINA™

DESIGNED FOR CREATIVITY, BUILT FOR SOLUTIONS



DL-AC-FLEX

FLEXIBLE LINE VOLTAGE
LED LINEAR STRIP

LED	120V AC	4.95 W/Ft	555' Lm/Ft
112' Lm/W	80+ CRI	150' MAX	4" MIN
3 SDCM	ELV	160°	WET*

Dims: 7/8" W x 1/4" H
Dimming: ELV
Environment: In/Outdoors*
Dry, Damp & Wet

* Plug & Play only. Not submersible.
Not intended for applications
where water can puddle or
product can be covered by snow.
† Based on 4000K data.

Specifications subject to change
without notice. See spec sheet or
jescolighting.com for more details.

Powered by
MAG LED



TO ORDER

MODEL	-	CCT
DL-AC-FLEX	-	<input type="text"/>
		27 - 2700K
		30 - 3000K
		40 - 4000K

† Consult factory

INFINA™ MOUNTING OPTIONS

	DL-AC-FLEX-CH4 DL-AC-FLEX-CH8 Mounting Channel Clear plastic with UV inhibitors Available in 4" & 8"
	DL-AC-FLEX-MC Mounting "U" Clip Clear plastic with UV inhibitors Dims: 1/2" H x 1" W x 1" L
	DL-AC-FLEX-MC-HW Mounting "U" Clip for Hardwire Clear plastic with UV inhibitors Dims: 1/2" H x 3/8" W x 1 7/8" L

FEATURES

ARCHITECTURAL GRADE

- Incorporates JESCO's exclusive Driverless AC LED Technology
- High output 3 Step MacAdam LEDs ensure consistent color output
- Patent Pending Constant Current IC's provide uniform intensity over the entire run
- Patent Pending Keyed Connector System
- Smooth ELV Dimming

ULTRA-HIGH LUMEN OUTPUT

- Provides up to 555 Lm from 4.95W with an efficacy of 112 Lm/W†
- Patent Pending optically clear thermoplastic jacket

ULTRA LONG RUN

- 150 foot run length
- Uniform intensity and color throughout the entire run
- Quick Installation with channels or clips

50,000 HOUR LIFE

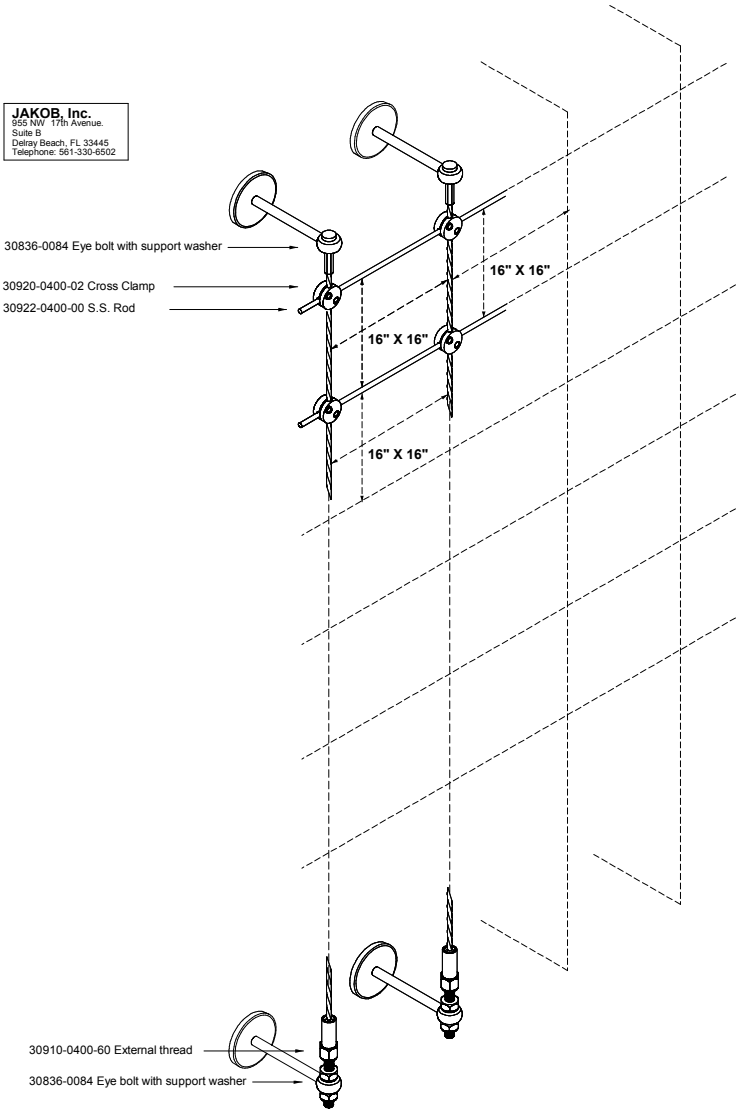
- No in-line or remote drivers mean that the weakest link in the LED system is eliminated guaranteeing a long lifetime
- 5 Year Limited Warranty

INFINA™ TERMINATION OPTIONS

	DL-AC-FLEX-PC2 DL-AC-FLEX-PC6 Power Plug with surge protection Length: 2', 6'
	DL-AC-FLEX-75-PC2 2' Power Plug with surge protection for runs greater than 75'
	DL-AC-FLEX-HW Flush Hardwire Coverplate with 8' SJT cable
	DL-AC-FLEX-HW-CNDT Flush Hardwire Coverplate with 8' cable connection for 1/2" flexible aluminum conduit
	DL-AC-FLEX-HW-RADJ Flush Hardwire Coverplate with 8' cable and 90° connection for 3/4" rigid raceway
	DL-AC-FLEX-CC3 DL-AC-FLEX-CC6 DL-AC-FLEX-CC12 DL-AC-FLEX-CC24 Connecting Cable Length: 3', 6', 12', 24'
	DL-AC-FLEX-EC End Cap Must be used at the end of every run

JAKOB, Inc.
355 NW 17th Avenue
Suite B
Delray Beach, FL 33445
Telephone: 561-330-6502

30836-0084 Eye bolt with support washer
30920-0400-02 Cross Clamp
30922-0400-00 S.S. Rod



30869-0400 Swaged Radius Head
30803-0800-02 Wall anchor
30836-0084 Eye bolt with support washer
30920-0400-02 Cross Clamp
30922-0400-00 S.S. Rod

30910-0400-60 External thread
30803-0800-02 Wall anchor
30836-0084 Eye bolt with support washer

30910-0400-60 External thread
30836-0084 Eye bolt with support washer

DESIGN
REVIEW

09.02.2016

LU NO.
16-236871 HR

Title:

LIGHTING &
TRELLIS CUT
SHEETS

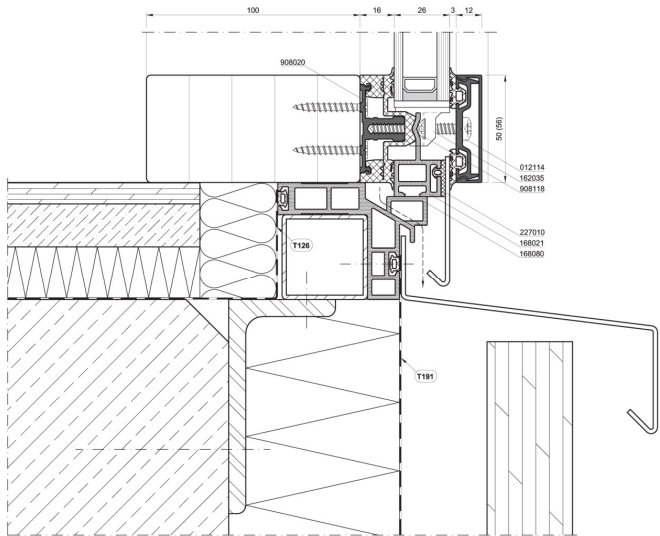
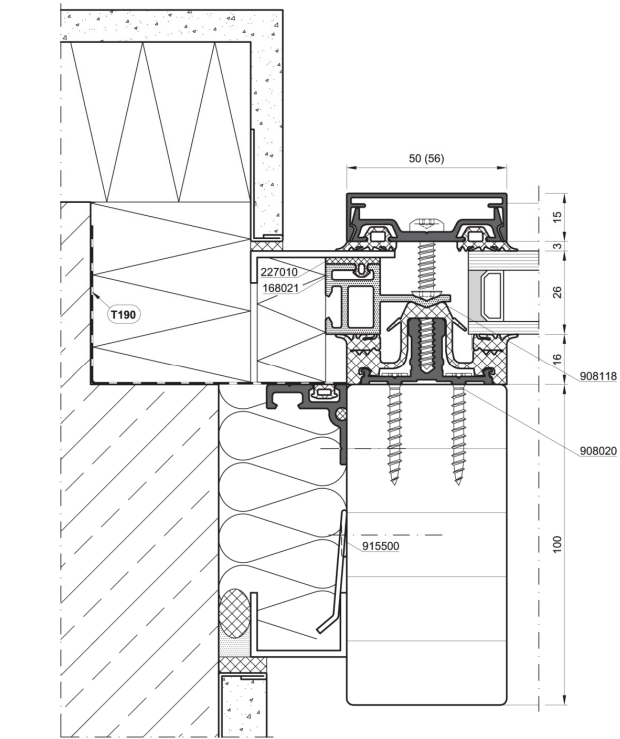
Sheet:

C.54

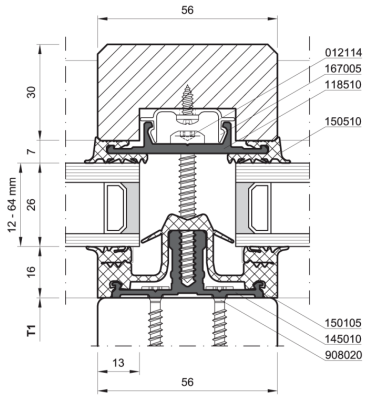
LED TAPE LIGHT AT PLANTERS ON ROOF DECK

LIGHTING & TRELLIS CUT SHEETS

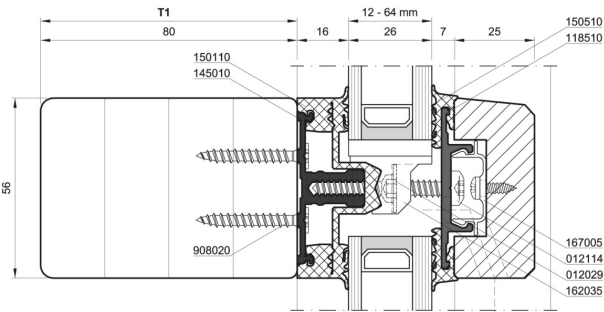
JAKOB WIRE TRELLIS SYSTEM ROOF DECK



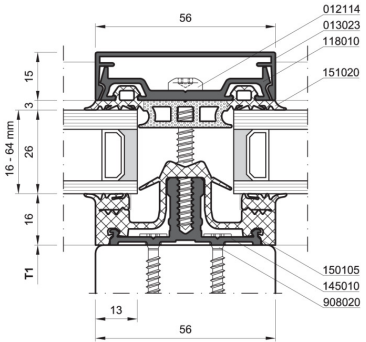
Vertical Mullion



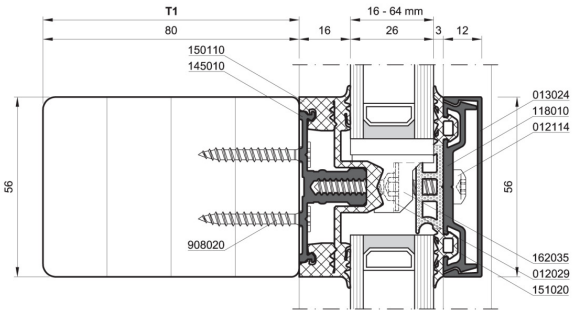
Horizontal Mullion



Vertical Mullion



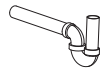
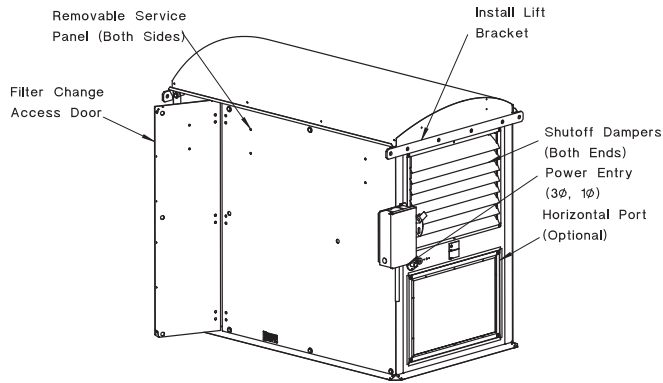
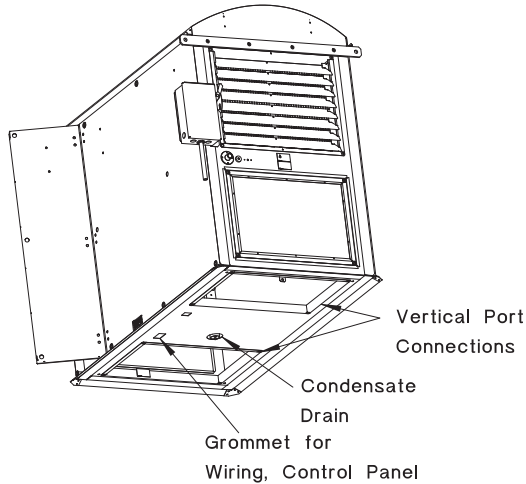
Horizontal Mullion



TIMBER CURTAIN WALL CUT SHEETS

TIMBER CURTAIN WALL CUT SHEETS

PARTS



Condensate Drain Fitting



Duct Temp Sensor (10m)

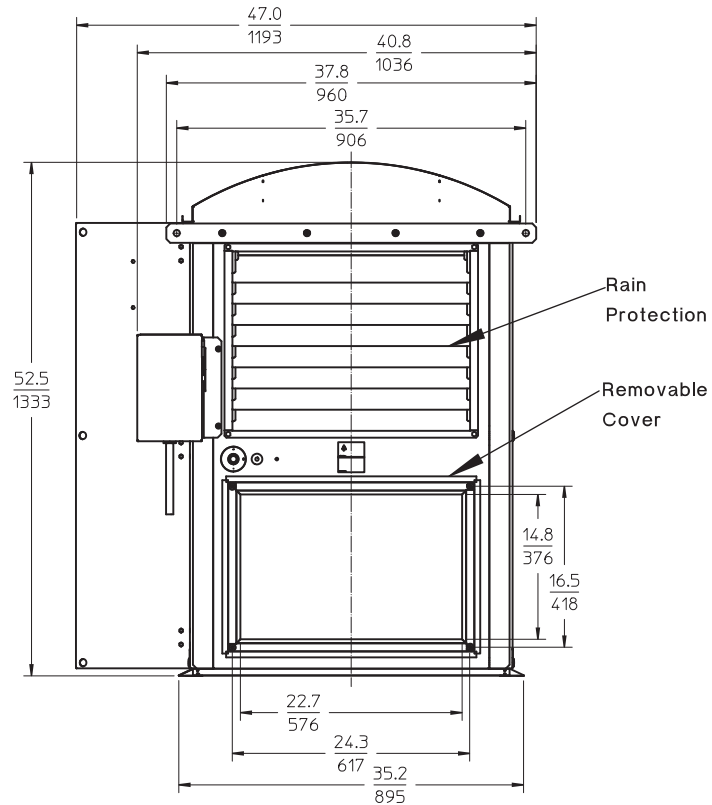
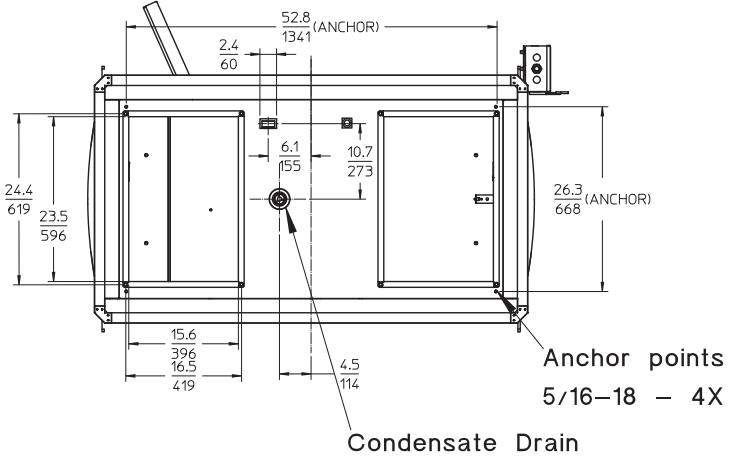
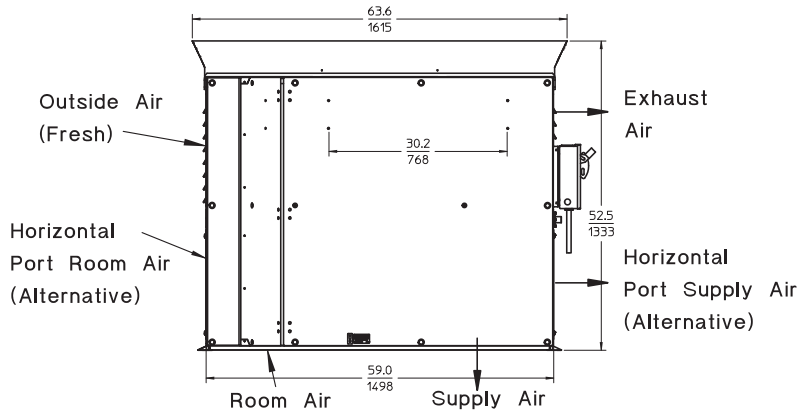


RS485 Com Cable (40m)



Control Panel

DIMENSIONS



DESIGN REVIEW

09.02.2016

LU NO.
16-236871 HR

Title:

MECHANICAL
CUT SHEETS

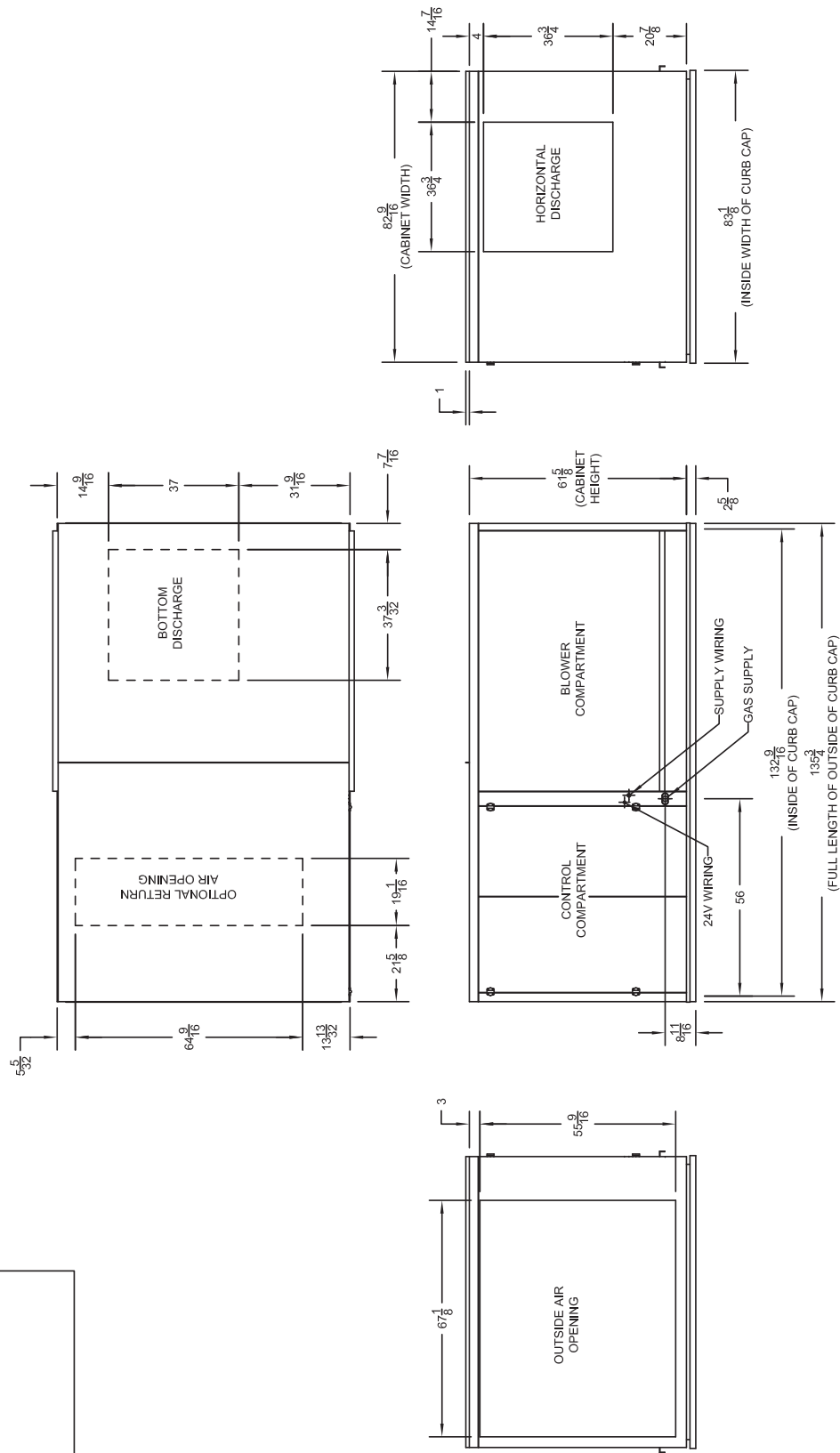
VENTACITY DOAS IN SCREENED MECHANICAL AREA ON LEVEL 01 ROOF, QUANTITY: 1

MECHANICAL CUT SHEETS

Sheet:

MODEL(S)
- RDF 3-180
- RDF 3-260

RDF3



REZNOR®

Model RDF



Description:

The Reznor® model RDF series single-blower, direct, gas-fired units are certified by ETL to ANSI Standard Z83.18 and Z83.4. The units are designed for indoor or outdoor installation with cabinets of insulated, double-wall galvalume steel construction. Configuration is horizontal with either standard horizontal discharge or optional vertical discharge.

The system is factory assembled and mounted on a curb cap for single unit field installation. The RDF series has a heating range of 20 - 3,000 MBH and an air handling capability range of 1,000 - 28,000 CFM. The blower section includes a single blower that is statically and dynamically balanced for vibration free operation. Depending on the model size and CFM requirements, the blower is either class I or class II. A selection of motor horsepower and drive packages is available to match application requirements. Motor and drive packages include an IEC style contactor or starter, adjustable motor base, adjustable sheaves, and drive belts.

The direct-fired burner is cast iron with drilled ports and stainless steel mixing plates for high efficiency combustion, designed to meet ANSI emission requirements. The pilot and flame monitoring device is an electronic (hot surface) ignition system and flame supervision with 100% lockout. Burner firing rate is modulated by a temperature selector and sensor to maintain the desired discharge air temperature.

Indoor/Outdoor, Direct Fired Gas Heating/Makeup Air System for Commercial / Industrial Use



The gas train includes main and pilot gas shutoff valves, a manual shutoff leak-test valve, a pilot regulator, a pilot solenoid valve, and either dual solenoid valves or fluid power valves, depending on the application requirements that determine gas train selection. Gas trains meet ANSI standards, and options are available to meet FM and /or IRI requirements. Standard controls include a remote control/monitoring console, high and low airflow proving switches, automatic and manual high temperature limit controls, an adjustable outside air temperature sensor for burner cutoff, burner and blower service switches, and a remote temperature selector with discharge sensor. A disconnect switch, a diagnostic light panel, a space override thermostat, a potentiometer, or a pressure sensing damper control device are all available as options or components of the air control option selected. Systems installed outdoors MUST include either an outside air hood or a model REC evaporative cooling module.

Features:

- ETL certified to ANSI Z83.18 and Z83.4
- 100% makeup air
- 20 - 3,000 MBH heating range
- Double-wall, insulated industrial grade construction
- Horizontal configuration with horizontal discharge
- Dynamically balanced centrifugal blower
- NEMA standard motor, IEC contactor (1/2 - 3 HP) or starter (5 - 30 HP)
- Adjustable belt drive
- Electronic modulated cast-iron burner with stainless steel mixing plates
- Electronic modulating gas control (25:1 turndown ratio)
- Hot surface intermittent ignition system with prepurge time delay (U.S. patent no. 5,556,272)
- 24-volt transformer (fused secondary)
- Adjustable outside air temperature sensor (economizer)
- Safety limit controls including high and low air flow proving switches, automatic and manual high temperature limits, flame supervisor with 100% lockout
- Gas train with dual main solenoid valves, main and pilot manual shutoff valves, manual shutoff leak-test valve, pilot regulator, and pilot solenoid valve
- Burner and blower service switches

MAKE-UP AIR UNIT IN SCREENED MECHANICAL AREA ON LEVEL 01 ROOF, QUANTITY: 1

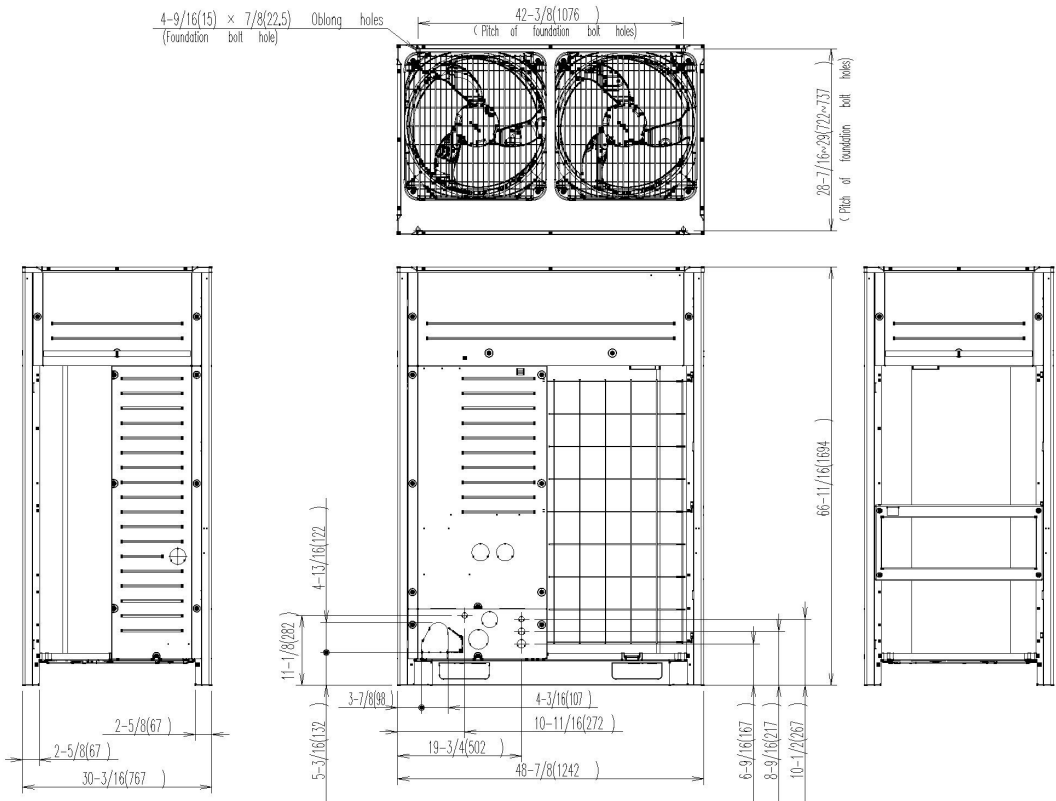
MECHANICAL CUT SHEETS



Submittal Data Sheet
14-Ton VRV-IV Heat Recovery Unit - 230V
REYQ168TTJU

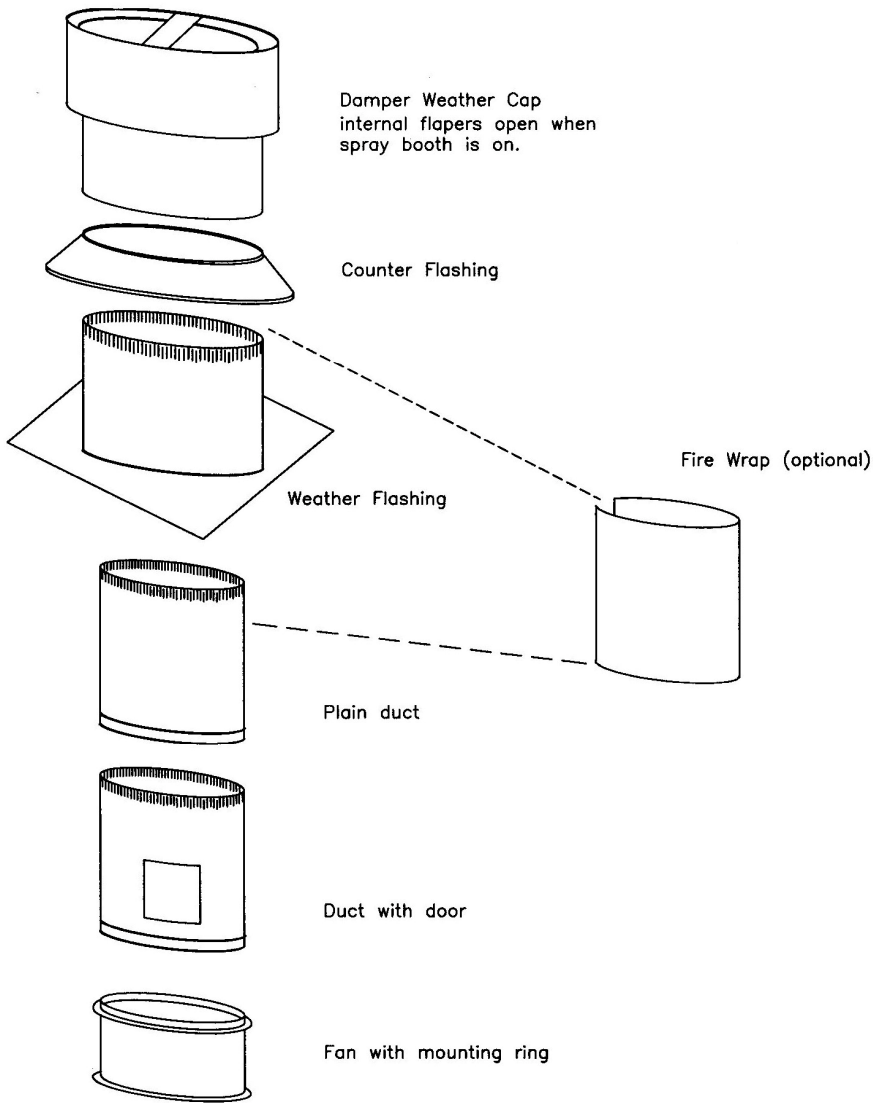
SYSTEM DETAILS			
Refrigerant Type:	R-410A	Cooling Operation Range (°F DB):	23 - 122
Holding Refrigerant Charge (lbs):	25.8	Heating Operation Range (°F WB):	-13 - 60
Additional Charge (lb/ft):		Max. Pipe Length (Vertical) (ft):	295
Pre-charge Piping (Length) (ft):		Cooling Range w/Baffle (°F DB):	-
Max. Pipe Length (Total) (ft):	540	Heating Range w/Baffle (°F WB):	-
Max Height Separation (Ind to Ind ft):			

DIMENSIONAL DRAWING



Exhaust Duct Installation Detail

Typical Duct System



DESIGN
REVIEW

09.02.2016

LU NO.
16-236871 HR

Title:

MECHANICAL
CUT SHEETS

Sheet:

C.58

Daikin City Generated Submittal Data

Daikin North America LLC, 5151 San Felipe, Suite 500, Houston, TX, 77056

www.daikinac.com www.daikincomfort.com

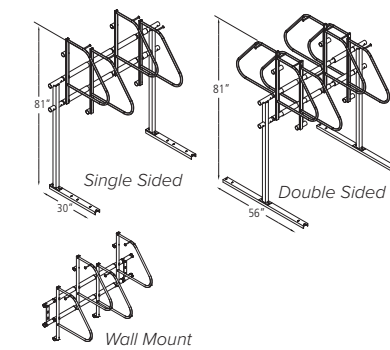
(Daikin's products are subject to continuous improvements. Daikin reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations)

VRV IN SCREENED MECHANICAL AREA ON LEVEL 01 ROOF, QUANTITY: 2

MECHANICAL CUT SHEETS

SPRAY BOOTH VENT, QUANTITY: 1

ULTRA SPACE SAVER
Submittal Sheet

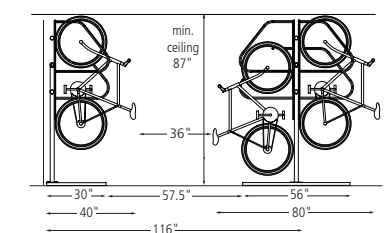


Single Sided

Double Sided

Wall Mount

Optional tire catches for rear wheels



min. ceiling 87"

30" 57.5" 56" 40" 80" 116"

CAPACITY

Modular construction
1 Bike per arm

MATERIALS

Hanger is 1" diameter tube with 1/2" steel rod and retaining disk at each end.
Upright is 2" square tube.
Feet are AISI C3 x 4.1 galvanized steel channel.
Crossbeams are 1.25" sched. 40 galvanized pipe (1.660" OD)
Spacers are 2.375" OD plastic tubes with .218" wall thickness.

FINISHES

Black powder coat
Cross bars: hot dipped galvanized
Hanger rods: rubber coated
Spacers: plastic

☐ **Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied (exterior only)
3. Final thick TGIC polyester powder coat

☐ **Floor Mount**
Ultra Space Savers have steel channel feet (30" for single sided and 56" for double sided units) which must be anchored to the floor. A wall mounted unit which contains special brackets is also available.

MOUNT OPTIONS

Estimating Your Bike Capacity

Estimating the maximum number of bikes you can park using an Ultra Space Saver in a typical rectangular space is usually fairly straight forward.

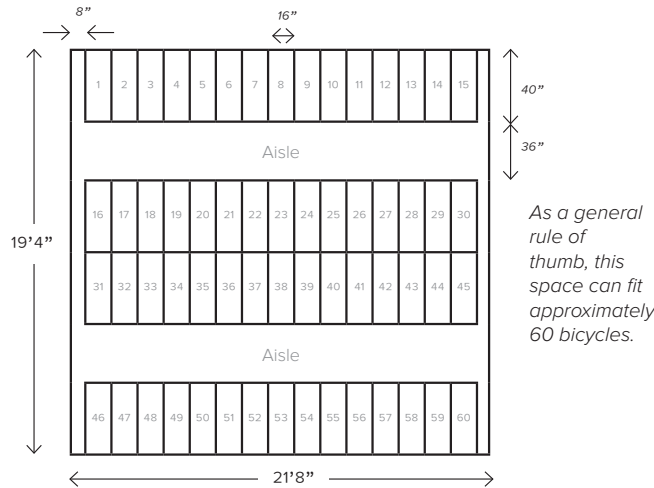
The Ultra Space Saver parks one bike every 16" with a typical bike extending out 40" from the wall. Leave a 36" aisle between rows. Add an 8" buffer on each end of a run to allow enough space for handlebars.

If you have a large space, you may be able to fit in double rows of Ultra Space Savers.

Let us Help! As a free service, Dero will provide a complete CAD layout of your space. Just send us the dimensions of your room, being sure to note the location of doors, columns, etc. and let us maximize your bike storage capacity.



SETBACKS



LONG TERM BIKE PARKING RACK, QUANTITY: 5

BOLA®
Product Data Sheet



An artful solution for bicycle storage and security that meets Association of Pedestrian and Bicycle and Professionals (APBP) recommendations. Bola's understated design doesn't conflict with other site elements. An artful solution for bicycle storage and security that meets Association of Pedestrian and Bicycle and Professionals (APBP) recommendations. Bola's understated design doesn't conflict with other site elements.

Bike Rack

- Capacity: 2 bikes
- Bike racks made of 1.5" o.d., 120" wall stainless steel tubing, with a #4 satin electropolish finish on bare stainless steel.
- Bola is also available in powdercoated steel.
- Bola must be embedded.
- Bola an secure two bicycles parked parallel to the rack.
- The bicycles can be headed in opposite directions, or in the same direction. The rack provides two- point contact to prevent the bicycle from tipping over.
- A standard D-shaped bike lock can secure both a wheel and the frame.

Finishes


- All metal parts are finished with Landscape Forms' proprietary Pangard II® polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling and fading.
- Call for standard color chart.

To Specify

- Select bike rack style. Specify powdercoat color or stainless steel.

Designed by Brian Kane, IDSA

All Landscape Forms bike racks meet guidelines established by the Association of Pedestrian and Bicycle Professionals.

	STYLE	DEPTH	WIDTH	HEIGHT	PRODUCT WEIGHT
	Bola	1.5'	28.25"	32"	13 lb

Visit our landscapeforms.com for more information. Specifications are subject to change without notice. Landscape Forms supports the Landscape Architecture Foundation at the Second Century level. ©2016 Landscape Forms, Inc. Printed in U.S.A.

Landscape Forms, Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048

SHORT TERM BIKE PARKING RACK, QUANTITY: 2

[OWNER PURCHASED IN LIEU OF CITY 'STAPLE' RACKS IN SIDEWALK]

BIKE RACK CUT SHEETS