



NEUBERGER HALL

Land Use Review DAR Submittal | March 24, 2017 (REVISED April 04, 2017)

PORTLAND STATE UNIVERSITY

HACKER

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PROJECT TEAM

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PROJECT NARRATIVE

Background

Neuberger Hall is located on the campus of Portland State University, along the South Park Blocks south of downtown Portland. Neuberger Hall occupies the block bound by SW Park Avenue, SW Harrison Street, SW Broadway and SW Hall Street. The original portion of the building, which was completed in 1961, occupies the western half of the block. The 1969 addition occupies the eastern half of the block. The two buildings are now joined by a common floor plan, but they maintain distinct exterior appearances.

As it has throughout its existence, Neuberger Hall hosts a wide variety of administrative programs and academic departments. It is the expectation that the building will continue to serve a diverse mix of functions.

Site Improvements

Neuberger Hall is situated within the large fabric of open spaces that relate to the South Park Blocks and is surrounded by park and pedestrian corridors on three sides and is well connected to the plazas to the west.

Improved ground floor program distribution will provide both visual and physical connections between the plaza and park amenity spaces and expand opportunities for more student activity and interaction outside of the classroom. The physical connections will be improved with a continuous accessible route and provide full ADA access.

Deferred Maintenance

Deferred maintenance is a primary driver of the project. To the extent practical, all deferred maintenance items will be improved, extending the useful service life of Neuberger Hall for another 50 years and beyond. These include: hazardous materials abatement; exterior envelope upgrades; door and hardware upgrades; roof replacement; elevator upgrades; fire protection systems, plumbing, HVAC, electrical and low voltage upgrades.

Exterior Improvements

Both the 1961 and 1969 portions of the buildings will maintain their distinct exterior appearances which consists of brick veneer, precast concrete, aluminum curtain wall, and glazing. The existing skylight system will also be removed and replaced with new skylights constructed of thermally broken aluminum framing infilled with laminated insulated glazing units.

Identifiable and welcoming new main building entries will be incorporated on the east and west facades. The east entry will directly engage SW Broadway and provide active uses and a pedestrian oriented streetscape along the street frontage. From Broadway pedestrians will have direct views into a new gallery located on the first floor and lower levels. The west building entrance will include hardscape active use areas with a direct connection to the Park Blocks. Both entries will be fully ADA accessible.

The extents of the 1961 west building curtainwall system is beyond its usable life and will be removed entirely. The new façade provides an opportunity to engage and respond to the park. Proposed in place of the failing curtainwall is a new externally insulated assembly with brick or metal cladding. New apertures with high performing windows are introduced such that there is more openness and transparency towards the ground floor where uses are most active. The materiality of the cladding, whether brick or metal panel, may provide a subtle sheen that allows for some reflectance of the foliage.

The scope of renovation for the east building envelope (the 1969 addition) is limited to replacement of single-pane glazing with new high-performing assemblies. The exception is the ground floor along Broadway. At this location the precast panels are intended to be removed and replaced with glazing to re-engage with the urban fabric at the street level.

A new organizing feature proposed in the building is the introduction of a lightwell that brings light into the dark central portion of the building with the removal of a portion of the floor slabs. A new skylight is proposed at the roof of the 2nd floor with the upper levels open to light and views.

Sustainability

The project will comply with applicable provisions of the Governor’s executive order EO-03-03, which is to utilize sustainable practices in the design construction and renovation of new State buildings. The project will also take account of Portland State University’s Climate Action Plan’s goal to be a carbon neutral campus by 2040.

The project will strive for the highest level of quality possible within the budget. It is pursuing a LEED Gold certification with a Platinum rating as an aspirational goal.

DAR MEETING

Topics for Discussion

We would like to discuss the following items:

- New entries from Broadway and Park
- Engaging the sidewalk and connections from Broadway, Park, and adjacent buildings
- Façade concepts for west building
- Material palette of west building
- Detailing strategies
- Interaction with Parks property
- Confirm Superblock status

Modifications Anticipated

We anticipate requesting Modifications to the following:

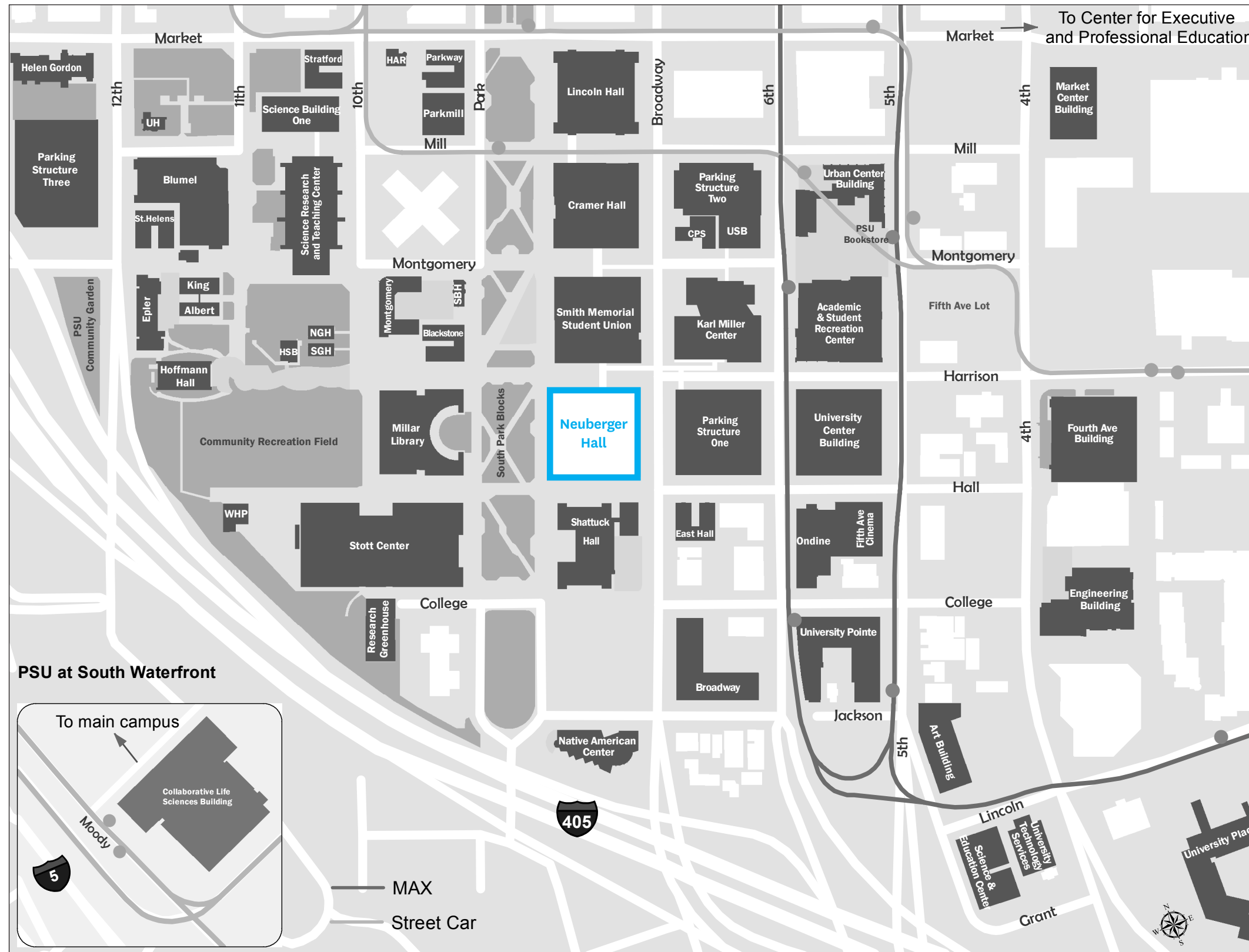
33.130.230, 33.510.220, Ground floor windows. Standard requires 50% in length and 25% in area. Currently only the west elevation meets the 50% length requirement. The challenge is the existing building condition presents sills that occur above the 4’-0” zone. If we may count the windows where the sill is above 4’ but still under the 9’ zone, all facades would meet the 50% length requirement. Refer to elevations included. All elevations meet the 25% ground floor window area requirement.

33.510.225, Map 510-7, Ground Floor Active Uses. Standard requires active program along 50% of ground floor windows for a depth of 25’. Currently ground floor active use requirements are met along the primary elevations, Broadway and Park. Challenges exist on the North and South elevations where existing concrete shear cores (to remain) and required program limits both the window apertures and the active use depth.

33.266.310.C.2.c, 33.266.310.D, Loading requirements. Standard requires that buildings with more than 50,000 sf of floor area require two loading spaces at least 35 ft. long, 10 ft. wide and with a 13 ft. clearance. Please confirm existing condition to remain is acceptable.

PROJECT INFORMATION

PROJECT DESCRIPTION



Non-Occupied Construction

Neuberger Hall will be fully vacated for the construction phase. The temporary surge space to accommodate faculty, administration, and student functions will be located on three PSU sites and include temporary trailers to facilitate academic and staffing needs.

SITE LOCATION

724 SW Harrison street (PSU Address)
 1855 SW Broadway (Portland maps address)
 Portland OR 97201

SITE ZONING

CX - Central Commercial
 Refer to zoning summary for details

PROJECT INFORMATION

F.A.R. SUMMARY

T.O. ROOF	73' - 6"		
<hr/>			(F.A.R. 4.1:1 BELOW)
LEVEL 5/ROOF	59' - 6"	8,647 sf	
<hr style="border-top: 1px dashed black;"/>			
LEVEL 4 MEZZANINE	50' - 2"	5,743 sf	
<hr style="border-top: 1px dashed black;"/>			
LEVEL 4	45' - 6"	28,853 sf	
<hr style="border-top: 1px dashed black;"/>			
LEVEL 3 MEZZANINE	40' - 10"	5,743 sf	
<hr style="border-top: 1px dashed black;"/>			
LEVEL 3	31' - 6"	36,907 sf	
<hr style="border-top: 1px dashed black;"/>			
LEVEL 2 MEZZANINE	22' - 9"	4,488 sf	
<hr style="border-top: 1px dashed black;"/>			
LEVEL 2	14' - 0"	36,727 sf	
<hr style="border-top: 1px dashed black;"/>			
LEVEL 1	0' - 0"	37,001 sf	ABOVE GRADE TOTAL: 164,109 sf
<hr/>			
BASEMENT	-14' - 0"	41,172 sf	

ZONING CODE SUMMARY

Property Description (Neuberger Hall)

Site Address: Neuberger Hall, 1855 SW Broadway, Portland OR 97201 – Portland State University, SW Harrison Street, Portland OR 97201
 Plan District: **CC** – Central City Plan District
 Base Overlay Zones: **CXd** – Central Commercial Design Zone

BLACK = COMPLETED
RED = NON-CONFORMING

Requirement	Reference	Standard	Proposal / Notes
Allowed Uses	33.130	Allowed uses per Table 130-1	Schools, Colleges - complies

Development Standards for Commercial Zones and Central City Plan District

Requirement	Reference	Standard	Proposal / Notes
Lot Size	33.130.200; see 33.613		N/A
Floor Area Ratio	33.130.205, Table 130-3 33.510.200, Map 510-2	FAR of 4:1 allowed in CX base zone – superseded by the CCPD FAR of 6:1 per Central City Master Plan	Lot size is 40,000 sf FAR 4.1 :1 = 164,109 sf (ABOVE GRADE TOTAL) 6:1 with bonuses or 40,000 sf (x) six floors = 240,000 sf maximum Complies
Height	33.130.210, Table 130-3, 33.510.205, Map 510-3	75' per base zone, 100' per Central City Plan District	
<ul style="list-style-type: none"> Height Standard – Rooftop Mechanical Equipment 	33.130.210.B.2	All rooftop mechanical equipment and enclosures of stairwells that provide rooftop access must be set back at least 15 feet from all roof edges that are parallel to street lot lines.... Stairwell enclosures and other rooftop mechanical equipment which cumulatively cover no more than 10 percent of the roof area may extend 10feet above the height limit.	N/A – Building height below 100 feet max height.
Setbacks	33.130.215, Table 130-3	No setbacks required per base zone. Maximum 10 feet at a transit street or pedestrian district.	Complies
<ul style="list-style-type: none"> Setbacks in a Pedestrian District 	33.130.215.C.2.c.1	Standard 1: At least 50 percent of the length of the ground level street facing facade of the building must be within the maximum setback	Complies
Required Building Lines	33.510.215, Map 510-6	New development and major remodeling projects along a frontage containing a required building line must be at least 15 feet high	Complies
Building Coverage	33.130.220, Table 130-3	No Limit	Complies
Landscaped Areas	33.130.225, Table 130-3,	None required per base zone.	N/A
Ground Floor Windows	33.130.230, 33.510.220	Ground Floor Windows must be at least 50% of the length and 25% of the area up to 9' above grade	Does not comply if all streets are subject to this requirement

ZONING CODE SUMMARY

Screening	33.130.235	Screening is required for unsightly features such as exterior garbage cans and mechanical equipment on ground level.	N/A - no exterior garbage cans or mechanical equipment at ground level
Ground Floor Active Uses	33.510.225, Map 510-7	Reinforce the continuity of pedestrian-active ground-level building uses. (.C) This standard must be met along at least 50 percent of the ground floor of walls that front onto a sidewalk, plaza, or other public open space. (.C.2) The area must be at least 25 feet deep, measured from the street-facing facade	Does not comply if all streets are subject to this requirement
Minimum Active Floor Area	33.510.226, Map 510-7	Site is not subject to this standard	N/A
Pedestrian Standards	33.130.240.B.1.a.1	Connection required between main entrance and the adjacent street.	Complies
Transit Street Main Entrance	33.130.242	Sites with at least one frontage on a transit street where any of the floor area on the site is nonresidential use must locate at least one main entrance within 25' of transit street.	N/A <i>Note: Site is on a "Local Service Transit Street" which is not classified as a "Transit Street" as defined by Title 33.910 and street classification identified in the Transportation Element of the Comprehensive Plan (Ref: Central City District - Map 6.42.2, Page 2-112)</i>
Exterior Display, Storage and Work Activities	33.130.245, 33.510.223	Exterior display and storage are not allowed in CX zone. Outdoor eating areas, outdoor markets, entertainment and recreation uses commonly performed outside are allowed.	Complies
Mechanical Equipment along the Portland Streetcar Alignment	33.510.224, Map 510-11	Site is not subject to this standard	N/A
Required Residential Development Areas	33.510.230, Map 510-5	Site is not subject to this standard	N/A
General Requirements for Residential and Mixed-Use Developments	33.130.250	Project type is not subject to this standard	N/A
Trucks and Equipment	33.130.255, 33.510.240	Regulations for truck and equipment parking apply to business vehicles that are parked regularly at a site. The regulations do not apply to pick-up and delivery activities, or other services at the site which occur on an intermittent and short-term basis.	N/A
Drive-Through Facilities	33.130.260.D.2	Drive-through facilities are allowed in the CX zones which are intended for auto accommodating development.	N/A
Detached Accessory Structures	33.130.265	Maintain separation and privacy to residential lots from non-residential development.	N/A
Fences	33.130.270	Standards apply to walls, fences and screens of all types.	N/A
Demolitions	33.130.275.C	Site must be landscaped to the L1 standard within 6 months of the demolition of buildings unless there is an approved development for the site through design review	N/A
Nonconforming Development	33.130.285	Existing development that does not conform to the development standards of this chapter may be subject to the regulations of Chapter 33.258, Nonconforming Situations	N/A
Parking and Loading	33.130.290	Standards are listed in 33.266, Parking and Loading.	See discussion below.
Signs	33.130.295	Standards are listed in Title 32, Signs and Related Regulations	Not included herein. Specific proposals for signs will be deferred and submitted on a tenant basis in accordance with standards as listed.

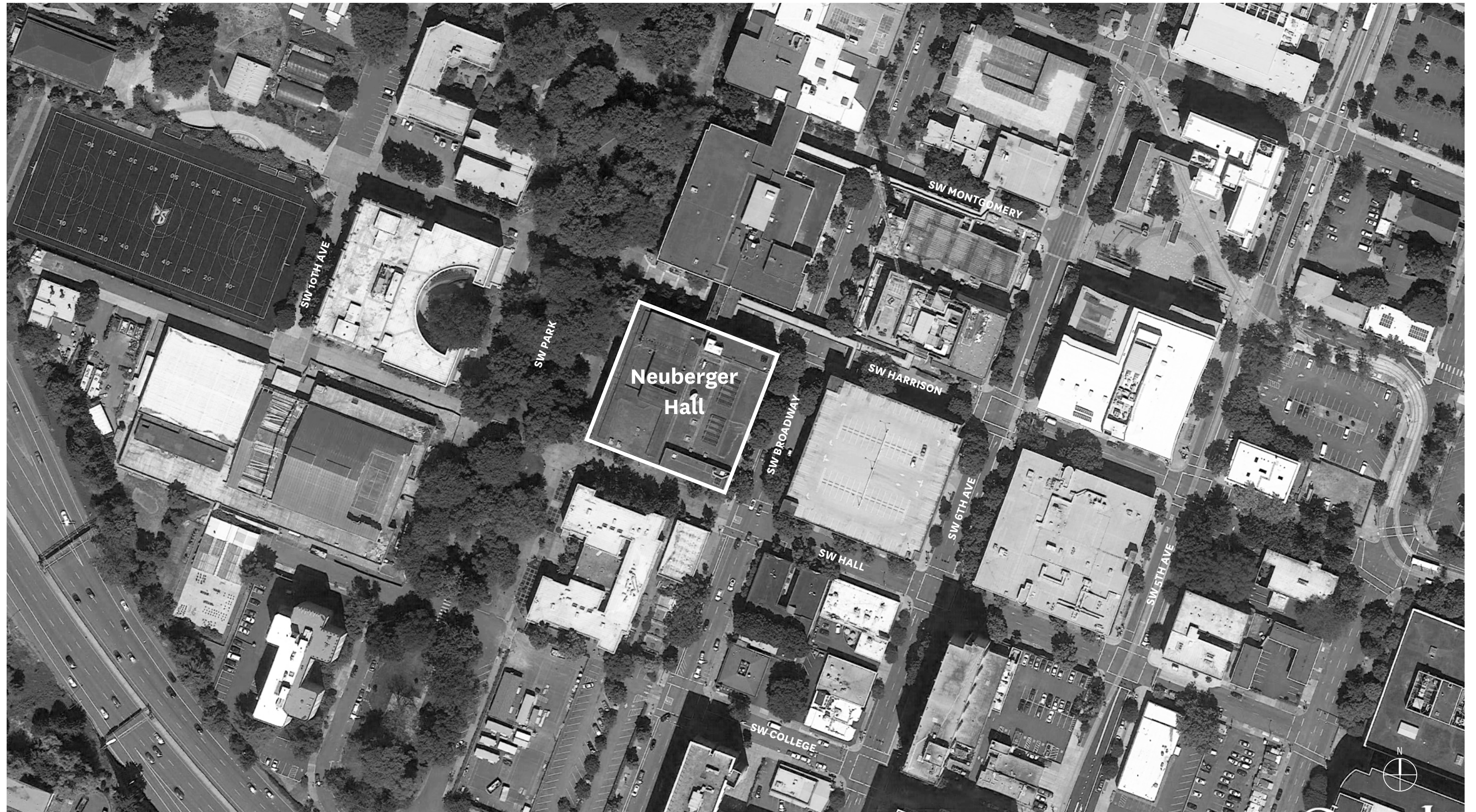
PROJECT INFORMATION

ZONING CODE SUMMARY

Superblock Requirements	33.130.305	Development in the CX zone on land that includes vacated rights-of-way may be subject to the superblock standards of Chapter 33.293, Superblocks.	TBD - BDS to confirm if requirement applies.
	33.293.020.A,C 33.293.030.A.1.a,b	Development applies to all new development and Major Remodeling Development must provide walkways, landscaped areas, and public plazas or public atriums equal to 5 percent of total land area.	TBD - BDS to confirm if requirement applies. 40,000 sf * .05 = 2000 sf
Recycling Areas	33.130.310	Requirements for recycling areas are regulated by the Office of Planning and Sustainability	Proposed development will comply with all standards.

Parking & Loading Standards

Requirement	Reference	Standard	Proposal / Notes
Parking and Loading	33.266.110, 33.266.115, Table 266-1 and 266-2	Base zone (CX): no minimum parking requirements Base Zone Use (Standard B): Maximum apply for college: 1 per 400 sq. ft. of net building area exclusive of dormitories, plus 1 per 2.6 dorm rooms	Superseded by below
Parking in the Core Area	33.510.263, Map 510-8	Project is in the UD-1 parking sector.	
<ul style="list-style-type: none"> Description of Types of Parking 	33.510.261.B.1	Growth parking is created in conjunction with additions of non-residential floor area and is provided for employees, customers and clients.	N/A
Parking	33.510.263, Table 510.6	Growth Parking: Allowed Schools, Colleges: 1 per 1000 net sf max	Maximum Parking allowed: Schools, Colleges: 227,234 sf / 1000 * 1 = 228 office stalls Total Maximum allowed: 228 stalls Confirm allowed but not required.
Bicycle Parking	33.266.200	Bicycle parking requirements are based on the primary use.	
	33.266.210, Table 266-6	Long-Term: Colleges: 1 per 20,000 sf , Short-Term: Colleges: 1 per 10,000 sf	Long Term College 227,234 sf / 20,000 = 12 Short Term College: 227,234 sf / 10,000 = 23 Proposed: 25 long-term, 30 Short-term
Loading Standards	33.266.310		
<ul style="list-style-type: none"> Number and Size of Loading Spaces 	33.266.310.C.2.c, 33.266.310.D	Buildings where any of the floor area is in uses other than household living with more than 50,000 sf of floor area require two loading spaces at least 35 ft. long, 10 ft. wide and with a 13 ft. clearance.	Existing condition does not comply. No changes proposed.
<ul style="list-style-type: none"> Forward Motion 	33.266.310.F	Loading facilities must be designed so that vehicles enter and exit the site in a forward motion.	N/A





SW PARK AVE FACING NORTH



SW PARK AVE FACING SOUTHEAST



SW PARK AVE FACING SOUTH



SW BROADWAY FACING NORTH



SW HALL ST FACING NORTHWEST



SW HALL ST FACING WEST



SW HARRISON ST FACING WEST



SW HARRISON ST FACING SOUTHWEST



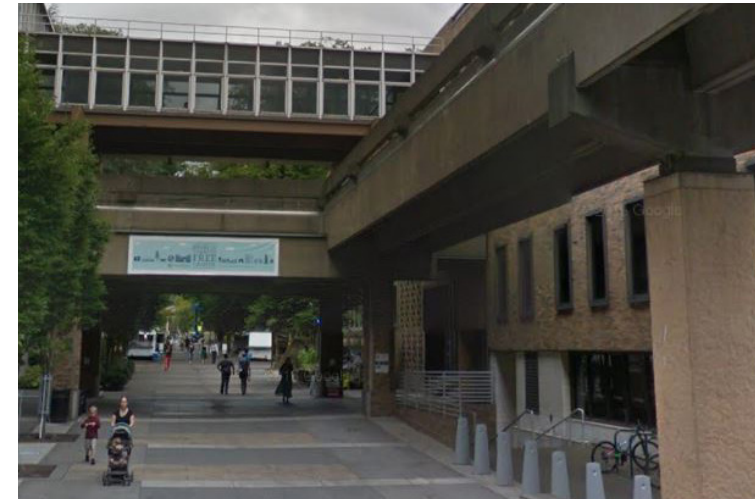
SW BROADWAY FACING SOUTH



SW HARRISON ST PEDESTRIAN BRIDGES FACING EAST



SW BROADWAY PEDESTRIAN BRIDGE FACING EAST



SW HARRISON ST PEDESTRIAN BRIDGES FACING WEST



NEUBERGER HALL EAST FACADE GROUND FLOOR



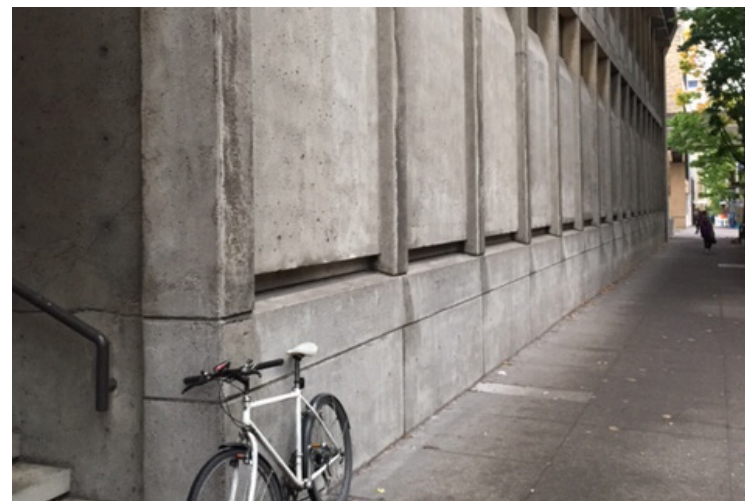
NEUBERGER HALL NORTHWEST FACADE DETAIL



NEUBERGER HALL EAST FACADE LEVEL 3-4



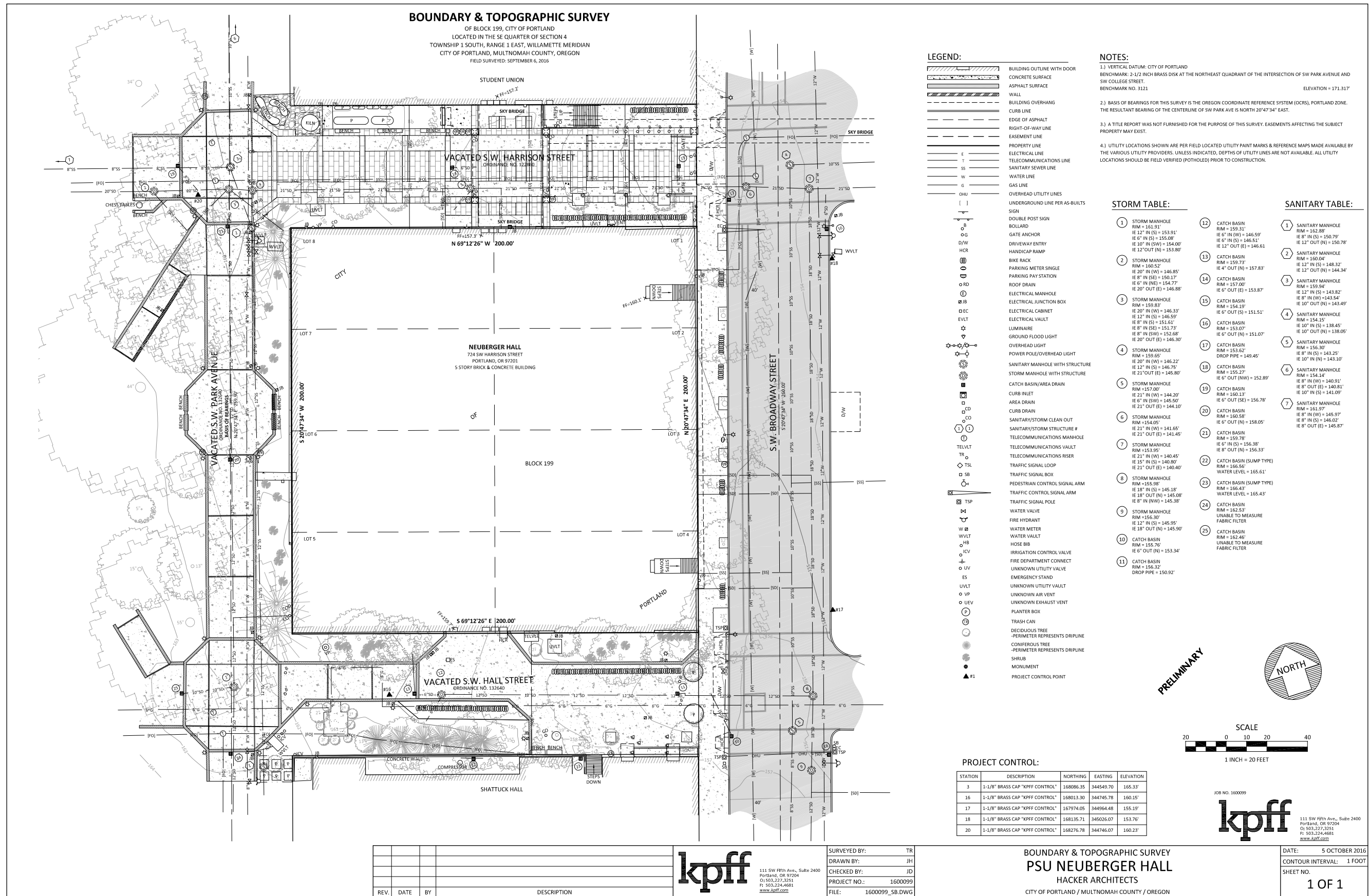
SW BROADWAY EXIT CORRIDOR



ROW AT SW BROADWAY FACING NORTH



NEUBERGER HALL SOUTH BUILDING ENTRY



BOUNDARY & TOPOGRAPHIC SURVEY
 OF BLOCK 199, CITY OF PORTLAND
 LOCATED IN THE SE QUARTER OF SECTION 4
 TOWNSHIP 1 SOUTH, RANGE 1 EAST, WILLAMETTE MERIDIAN
 CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON
 FIELD SURVEYED: SEPTEMBER 6, 2016

- LEGEND:**
- [Symbol] BUILDING OUTLINE WITH DOOR
 - [Symbol] CONCRETE SURFACE
 - [Symbol] ASPHALT SURFACE
 - [Symbol] WALL
 - [Symbol] BUILDING OVERHANG
 - [Symbol] CURB LINE
 - [Symbol] EDGE OF ASPHALT
 - [Symbol] RIGHT-OF-WAY LINE
 - [Symbol] EASEMENT LINE
 - [Symbol] PROPERTY LINE
 - [Symbol] ELECTRICAL LINE
 - [Symbol] TELECOMMUNICATIONS LINE
 - [Symbol] SANITARY SEWER LINE
 - [Symbol] WATER LINE
 - [Symbol] GAS LINE
 - [Symbol] OVERHEAD UTILITY LINES
 - [Symbol] UNDERGROUND LINE PER AS-BUILTS
 - [Symbol] SIGN
 - [Symbol] DOUBLE POST SIGN
 - [Symbol] GATE ANCHOR
 - [Symbol] DRIVEWAY ENTRY
 - [Symbol] HANDICAP RAMP
 - [Symbol] BIKE RACK
 - [Symbol] PARKING METER SINGLE
 - [Symbol] PARKING PAY STATION
 - [Symbol] ROOF DRAIN
 - [Symbol] ELECTRICAL MANHOLE
 - [Symbol] ELECTRICAL JUNCTION BOX
 - [Symbol] ELECTRICAL CABINET
 - [Symbol] ELECTRICAL VAULT
 - [Symbol] LUMINAIRE
 - [Symbol] GROUND FLOOD LIGHT
 - [Symbol] OVERHEAD LIGHT
 - [Symbol] POWER POLE/OVERHEAD LIGHT
 - [Symbol] SANITARY MANHOLE WITH STRUCTURE
 - [Symbol] STORM MANHOLE WITH STRUCTURE
 - [Symbol] CATCH BASIN/AREA DRAIN
 - [Symbol] CURB INLET
 - [Symbol] AREA DRAIN
 - [Symbol] CURB DRAIN
 - [Symbol] SANITARY/STORM CLEAN OUT
 - [Symbol] SANITARY/STORM STRUCTURE #
 - [Symbol] TELECOMMUNICATIONS MANHOLE
 - [Symbol] TELECOMMUNICATIONS VAULT
 - [Symbol] TELECOMMUNICATIONS RISER
 - [Symbol] TRAFFIC SIGNAL LOOP
 - [Symbol] TRAFFIC SIGNAL BOX
 - [Symbol] PEDESTRIAN CONTROL SIGNAL ARM
 - [Symbol] TRAFFIC CONTROL SIGNAL ARM
 - [Symbol] TRAFFIC SIGNAL POLE
 - [Symbol] WATER VALVE
 - [Symbol] FIRE HYDRANT
 - [Symbol] WATER METER
 - [Symbol] WATER VAULT
 - [Symbol] HOSE BIB
 - [Symbol] IRRIGATION CONTROL VALVE
 - [Symbol] FIRE DEPARTMENT CONNECT
 - [Symbol] UNKNOWN UTILITY VALVE
 - [Symbol] EMERGENCY STAND
 - [Symbol] UNKNOWN UTILITY VAULT
 - [Symbol] UNKNOWN AIR VENT
 - [Symbol] UNKNOWN EXHAUST VENT
 - [Symbol] PLANTER BOX
 - [Symbol] TRASH CAN
 - [Symbol] DECIDUOUS TREE
 - [Symbol] PERIMETER REPRESENTS DRIPLINE
 - [Symbol] CONIFEROUS TREE
 - [Symbol] PERIMETER REPRESENTS DRIPLINE
 - [Symbol] SHRUB
 - [Symbol] MONUMENT
 - [Symbol] PROJECT CONTROL POINT

- NOTES:**
- 1) VERTICAL DATUM: CITY OF PORTLAND
 BENCHMARK: 2-1/2" INCH BRASS DISK AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF SW PARK AVENUE AND SW COLLEGE STREET.
 BENCHMARK NO. 3121 ELEVATION = 171.317'
 - 2) BASIS OF BEARINGS FOR THIS SURVEY IS THE OREGON COORDINATE REFERENCE SYSTEM (OCRS), PORTLAND ZONE. THE RESULTANT BEARING OF THE CENTERLINE OF SW PARK AVE IS NORTH 20°47'34" EAST.
 - 3) A TITLE REPORT WAS NOT FURNISHED FOR THE PURPOSE OF THIS SURVEY. EASEMENTS AFFECTING THE SUBJECT PROPERTY MAY EXIST.
 - 4) UTILITY LOCATIONS SHOWN ARE PER FIELD LOCATED UTILITY PAINT MARKS & REFERENCE MAPS MADE AVAILABLE BY THE VARIOUS UTILITY PROVIDERS. UNLESS INDICATED, DEPTHS OF UTILITY LINES ARE NOT AVAILABLE. ALL UTILITY LOCATIONS SHOULD BE FIELD VERIFIED (POTHOLED) PRIOR TO CONSTRUCTION.

STORM TABLE:

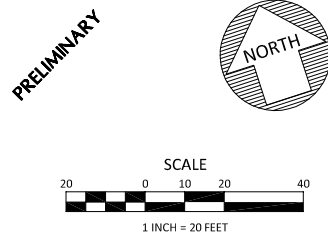
1	STORM MANHOLE RIM = 151.91' IE 12" IN (S) = 153.91' IE 6" IN (S) = 155.08' IE 10" IN (SW) = 154.00' IE 12" OUT (N) = 153.80'
2	STORM MANHOLE RIM = 160.52' IE 20" IN (W) = 146.85' IE 8" IN (SE) = 150.17' IE 6" IN (NE) = 154.77' IE 20" OUT (E) = 146.88'
3	STORM MANHOLE RIM = 159.87' IE 20" IN (W) = 146.33' IE 12" IN (S) = 146.59' IE 8" IN (S) = 151.61' IE 8" IN (SE) = 151.73' IE 8" IN (SW) = 152.68' IE 20" OUT (E) = 146.30'
4	STORM MANHOLE RIM = 159.65' IE 20" IN (W) = 146.22' IE 12" IN (S) = 146.75' IE 21" OUT (E) = 145.80'
5	STORM MANHOLE RIM = 157.00' IE 21" IN (W) = 144.20' IE 6" IN (SW) = 145.50' IE 21" OUT (E) = 144.10'
6	STORM MANHOLE RIM = 154.05' IE 21" IN (W) = 141.65' IE 21" OUT (E) = 141.45'
7	STORM MANHOLE RIM = 153.95' IE 21" IN (W) = 140.45' IE 15" IN (S) = 140.80' IE 21" OUT (E) = 140.40'
8	STORM MANHOLE RIM = 155.98' IE 18" IN (S) = 145.18' IE 18" OUT (W) = 145.08' IE 8" IN (NW) = 145.38'
9	STORM MANHOLE RIM = 156.30' IE 12" IN (S) = 145.95' IE 18" OUT (W) = 145.90'
10	CATCH BASIN RIM = 155.76' IE 6" OUT (N) = 153.34'
11	CATCH BASIN RIM = 156.32' DROP PIPE = 150.92'

SANITARY TABLE:

1	SANITARY MANHOLE RIM = 162.88' IE 8" IN (W) = 150.79' IE 12" OUT (N) = 150.78'
2	SANITARY MANHOLE RIM = 160.04' IE 12" IN (S) = 143.33' IE 10" IN (N) = 144.34'
3	SANITARY MANHOLE RIM = 159.94' IE 12" IN (S) = 143.82' IE 8" IN (W) = 143.54'
4	SANITARY MANHOLE RIM = 154.15' IE 10" IN (S) = 138.45' IE 10" OUT (N) = 138.05'
5	SANITARY MANHOLE RIM = 156.30' IE 8" IN (S) = 143.25' IE 10" IN (N) = 143.10'
6	SANITARY MANHOLE RIM = 154.14' IE 8" IN (W) = 140.91' IE 8" OUT (E) = 140.81' IE 10" IN (S) = 141.09'
7	SANITARY MANHOLE RIM = 161.97' IE 8" IN (W) = 145.97' IE 8" IN (S) = 146.02' IE 8" OUT (E) = 145.87'
12	CATCH BASIN RIM = 159.31' IE 6" IN (W) = 146.59' IE 6" IN (S) = 146.51' IE 12" OUT (N) = 146.61'
13	CATCH BASIN RIM = 157.73' IE 4" OUT (N) = 157.83'
14	CATCH BASIN RIM = 157.00' IE 6" OUT (E) = 153.87'
15	CATCH BASIN RIM = 154.19' IE 6" OUT (S) = 151.51'
16	CATCH BASIN RIM = 153.07' IE 6" OUT (N) = 151.07'
17	CATCH BASIN RIM = 153.62' DROP PIPE = 149.45'
18	CATCH BASIN RIM = 155.27' IE 6" OUT (NW) = 152.89'
19	CATCH BASIN RIM = 160.13' IE 6" OUT (SE) = 156.78'
20	CATCH BASIN RIM = 160.58' IE 6" OUT (N) = 158.05'
21	CATCH BASIN RIM = 161.97' IE 6" IN (S) = 156.38' IE 8" OUT (N) = 156.33'
22	CATCH BASIN (SUMP TYPE) RIM = 166.56' WATER LEVEL = 165.61'
23	CATCH BASIN (SUMP TYPE) RIM = 160.43' WATER LEVEL = 165.43'
24	CATCH BASIN RIM = 162.53' UNABLE TO MEASURE FABRIC FILTER
25	CATCH BASIN RIM = 162.46' UNABLE TO MEASURE FABRIC FILTER

PROJECT CONTROL:

STATION	DESCRIPTION	NORTHING	EASTING	ELEVATION
3	1-1/8" BRASS CAP "KPFF CONTROL"	168086.35	344549.70	165.33'
16	1-1/8" BRASS CAP "KPFF CONTROL"	168013.30	344745.78	160.15'
17	1-1/8" BRASS CAP "KPFF CONTROL"	167974.05	344964.48	155.19'
18	1-1/8" BRASS CAP "KPFF CONTROL"	168135.71	345026.07	153.76'
20	1-1/8" BRASS CAP "KPFF CONTROL"	168276.78	344746.07	160.23'



REV.	DATE	BY	DESCRIPTION

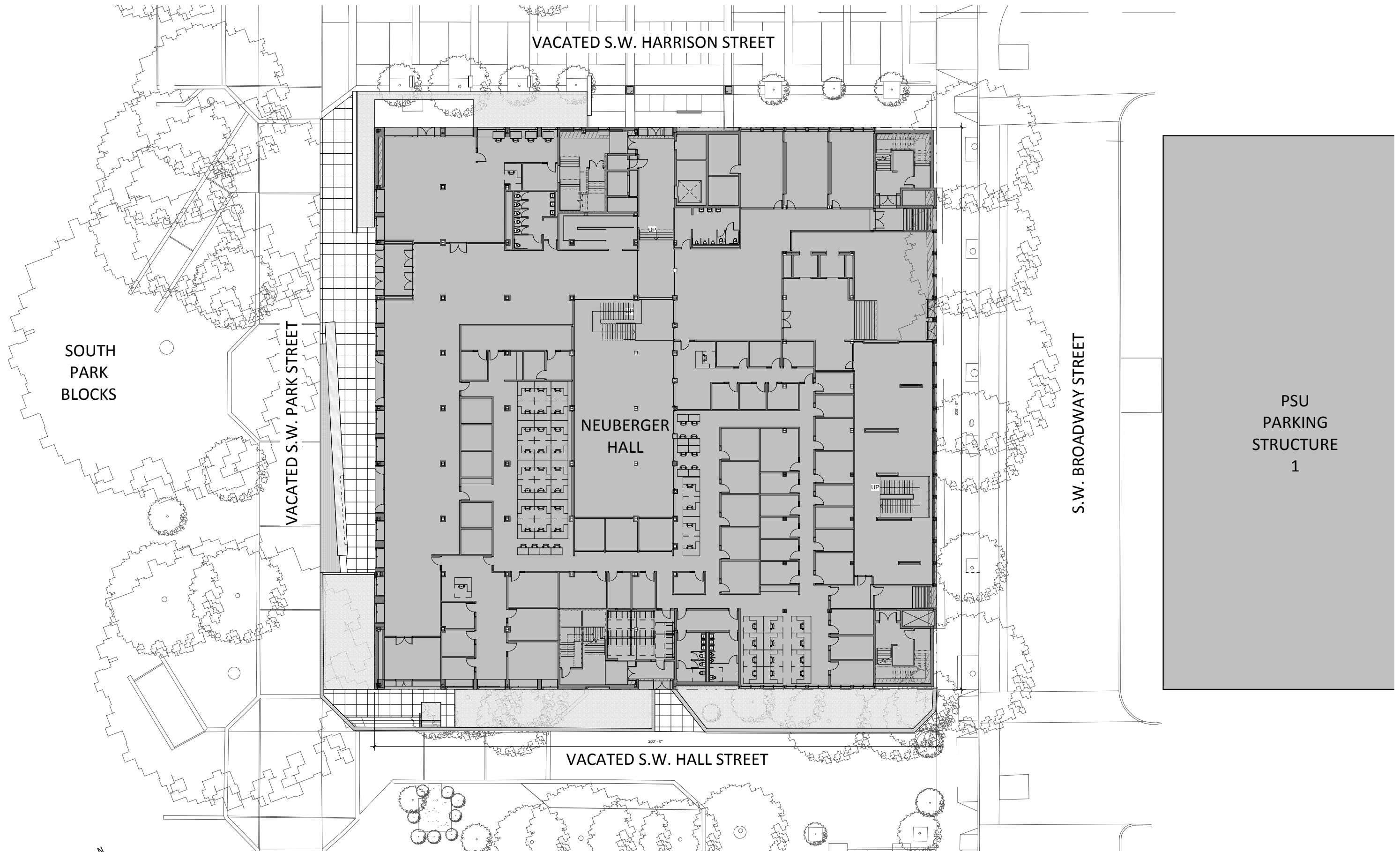
kpff
 111 SW Fifth Ave., Suite 2400
 Portland, OR 97204
 O: 503.227.2321
 F: 503.224.4681
 www.kpff.com

SURVEYED BY: TR
 DRAWN BY: JH
 CHECKED BY: JD
 PROJECT NO.: 1600099
 FILE: 1600099_SB.DWG

BOUNDARY & TOPOGRAPHIC SURVEY
PSU NEUBERGER HALL
 HACKER ARCHITECTS
 CITY OF PORTLAND / MULTNOMAH COUNTY / OREGON

kpff
 111 SW Fifth Ave., Suite 2400
 Portland, OR 97204
 O: 503.227.2321
 F: 503.224.4681
 www.kpff.com

DATE: 5 OCTOBER 2016
 CONTOUR INTERVAL: 1 FOOT
 SHEET NO.
1 OF 1



SOUTH
PARK
BLOCKS

VACATED S.W. PARK STREET

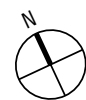
VACATED S.W. HARRISON STREET

NEUBERGER
HALL

S.W. BROADWAY STREET

PSU
PARKING
STRUCTURE
1

VACATED S.W. HALL STREET



SCALE : 1/32" = 1'-0"

SITE PLAN

TOTAL WALL LENGTH: 200' - 0"
TOTAL ACTIVE WALL AREA: 93' - 6"

% OF LENGTH: 47% (50% MIN)



TOTAL WALL LENGTH: 200' - 0"
TOTAL ACTIVE WALL AREA: 168' - 0"

% OF LENGTH: 84%

TOTAL WALL LENGTH: 200' - 0"
TOTAL ACTIVE WALL AREA: 126' - 0"

% OF LENGTH: 63%

TOTAL WALL LENGTH: 200' - 0"
TOTAL ACTIVE WALL AREA: 62' - 4"

% OF LENGTH: 32% (50% MIN)

■ QUALIFYING GROUND FLOOR ACTIVE USE SPACES

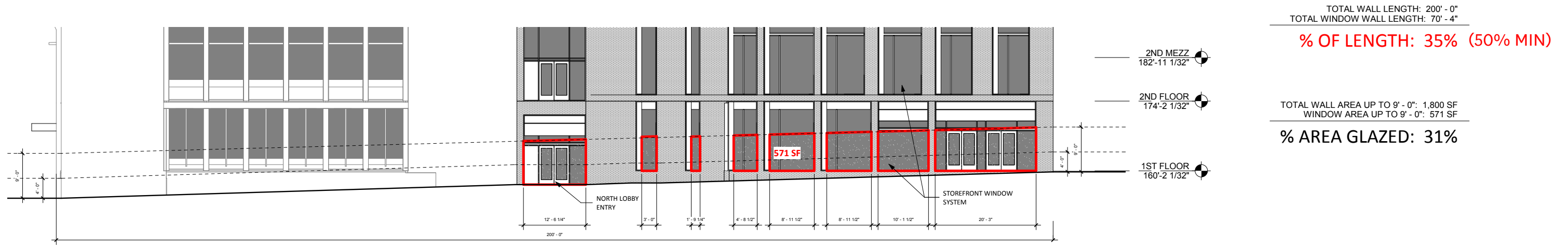
33.510.225 GENERAL STANDARD: Buildings must be designed and constructed to accommodate uses such as those listed in Subsection A., above. **This standard must be met along at least 50 percent of the ground floor of walls that front onto a sidewalk, plaza, or other public open space.**

33.510.225.C QUALIFYING ACTIVE USE FEATURES:

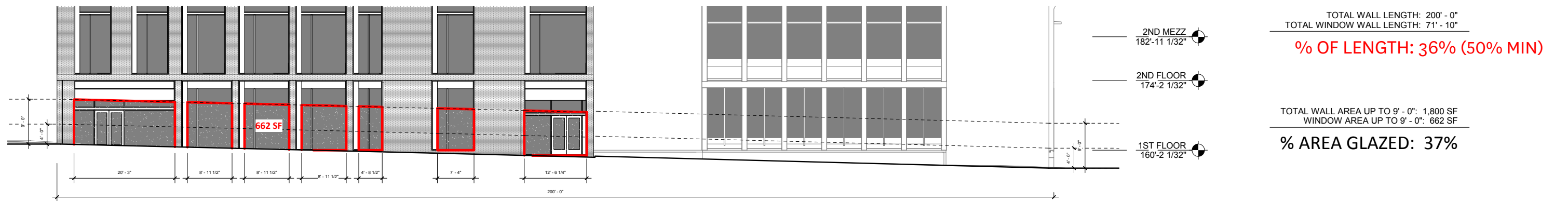
1. The distance from the finished floor to the bottom of the structure above must be at least 12 feet. The bottom of the structure above includes supporting beams;
- 2. The area must be at least 25 feet deep, measured from the street facing facade;**
3. The area may be designed to accommodate a single tenant or multiple tenants. In either case, the area must meet the standards of the Accessibility Chapter of the State of Oregon Structural Specialty Code. This code is administered by BDS; and
4. The street facing facade must include windows and doors, or be structurally designed so doors and windows can be added when the space is converted to active building uses.

01 FLOOR PLAN - 1ST FLOOR
SCALE : 1" = 40'

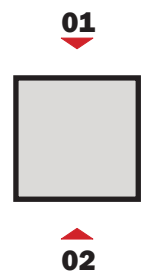
GROUND FLOOR ACTIVE USE



01 NORTH ELEVATION - SW HARRISON
SCALE : 1" = 20'



02 SOUTH ELEVATION - SW HALL
SCALE : 1" = 20'

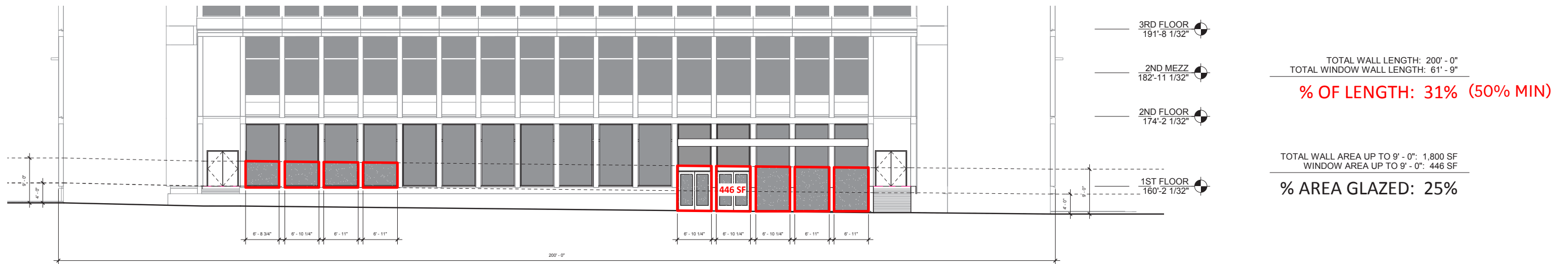


North and South Elevations

33.130.230.B.3 GENERAL STANDARD: The windows must be at least 50 percent of the length and 25 percent of the ground level wall area. Ground level wall areas include all exterior wall areas up to 9 feet above the finished grade. The requirement does not apply to the walls of residential units, and does not apply to the walls of parking structures when set back at least 5 feet and landscaped to at least the L2 standard.

33.130.230.C QUALIFYING WINDOW FEATURES: The bottom of the windows must be no more than 4 feet above the adjacent exterior grade.

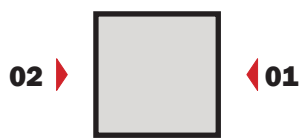
GROUND FLOOR WINDOWS



01 EAST ELEVATION - SW BROADWAY
SCALE : 1" = 20'



02 WEST ELEVATION - SW PARK
SCALE : 1" = 20'



East and West Elevations

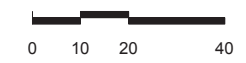
33.130.230.B.3 GENERAL STANDARD: The windows must be at least 50 percent of the length and 25 percent of the ground level wall area. Ground level wall areas include all exterior wall areas up to 9 feet above the finished grade. The requirement does not apply to the walls of residential units, and does not apply to the walls of parking structures when set back at least 5 feet and landscaped to at least the L2 standard.

33.130.230.C QUALIFYING WINDOW FEATURES: The bottom of the windows must be no more than 4 feet above the adjacent exterior grade.

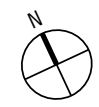
GROUND FLOOR WINDOWS



- PROGRAM SPACE
- GALLERY
- CIRCULATION



- PROGRAM SPACE
- GALLERY
- CIRCULATION

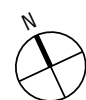
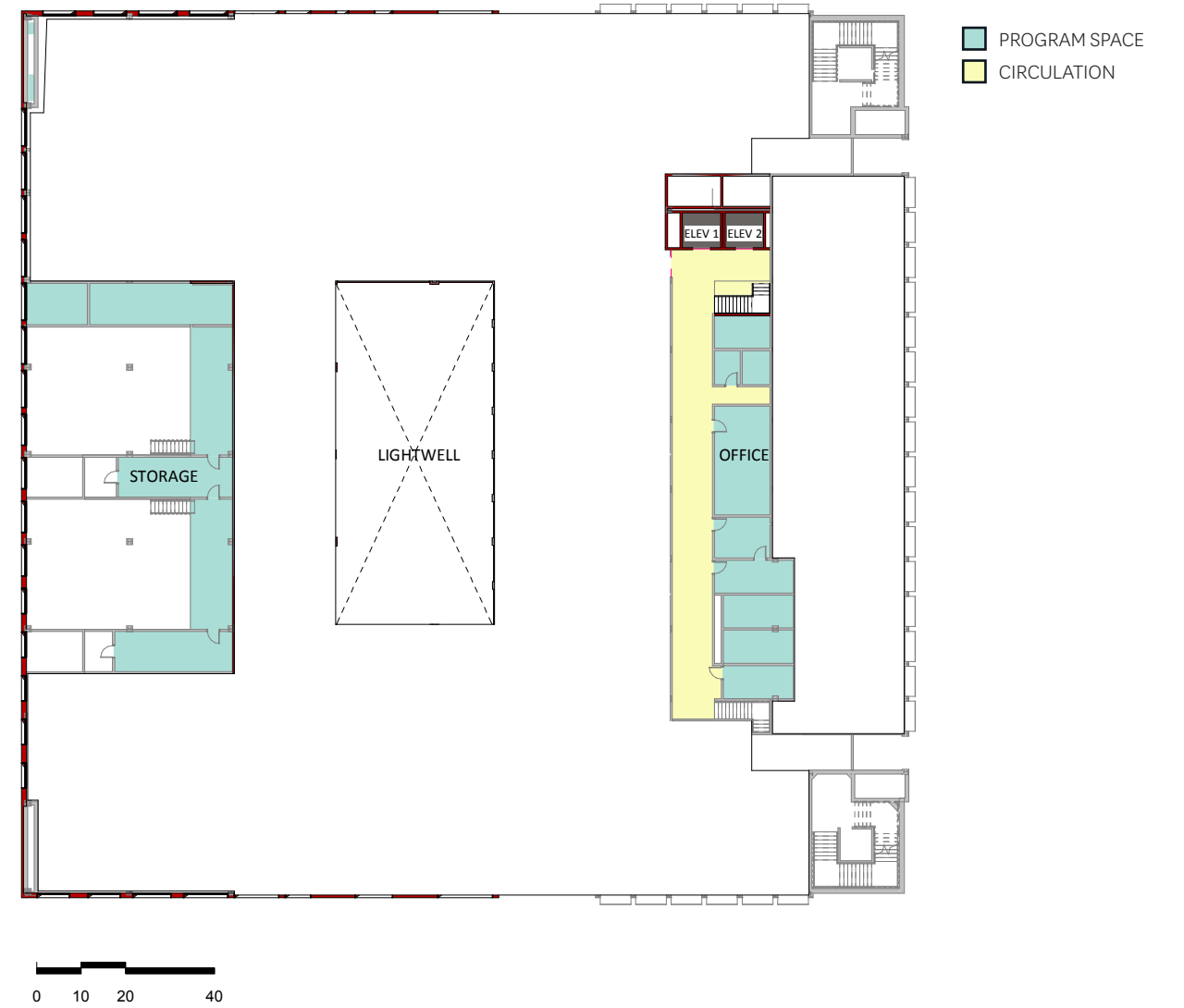
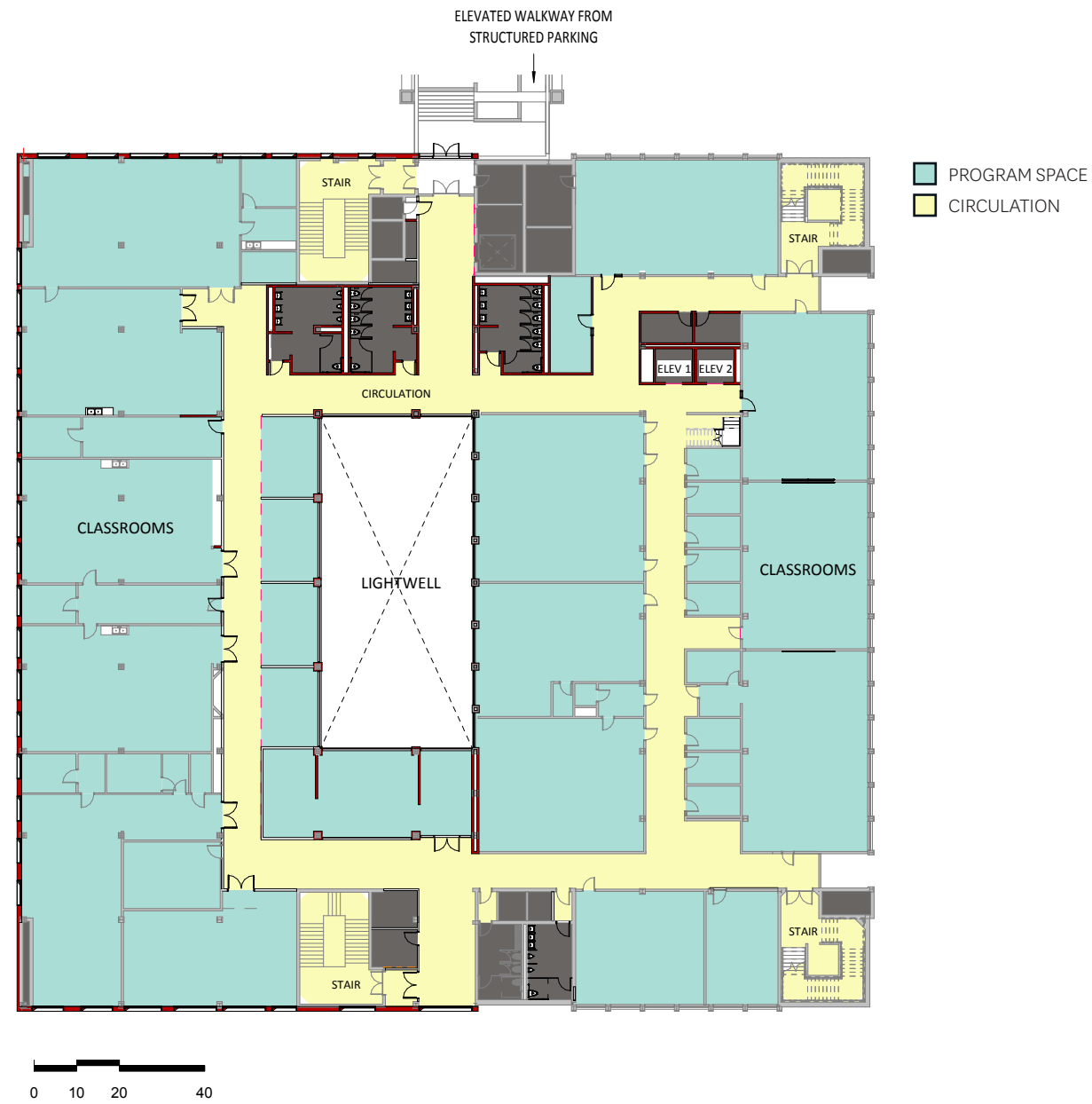


BASEMENT - 41,172 sf
SCALE : 1" = 40'-0"



LEVEL 1 - 37,001 sf, FAR 0.93
SCALE : 1" = 40'-0"

FLOOR PLANS

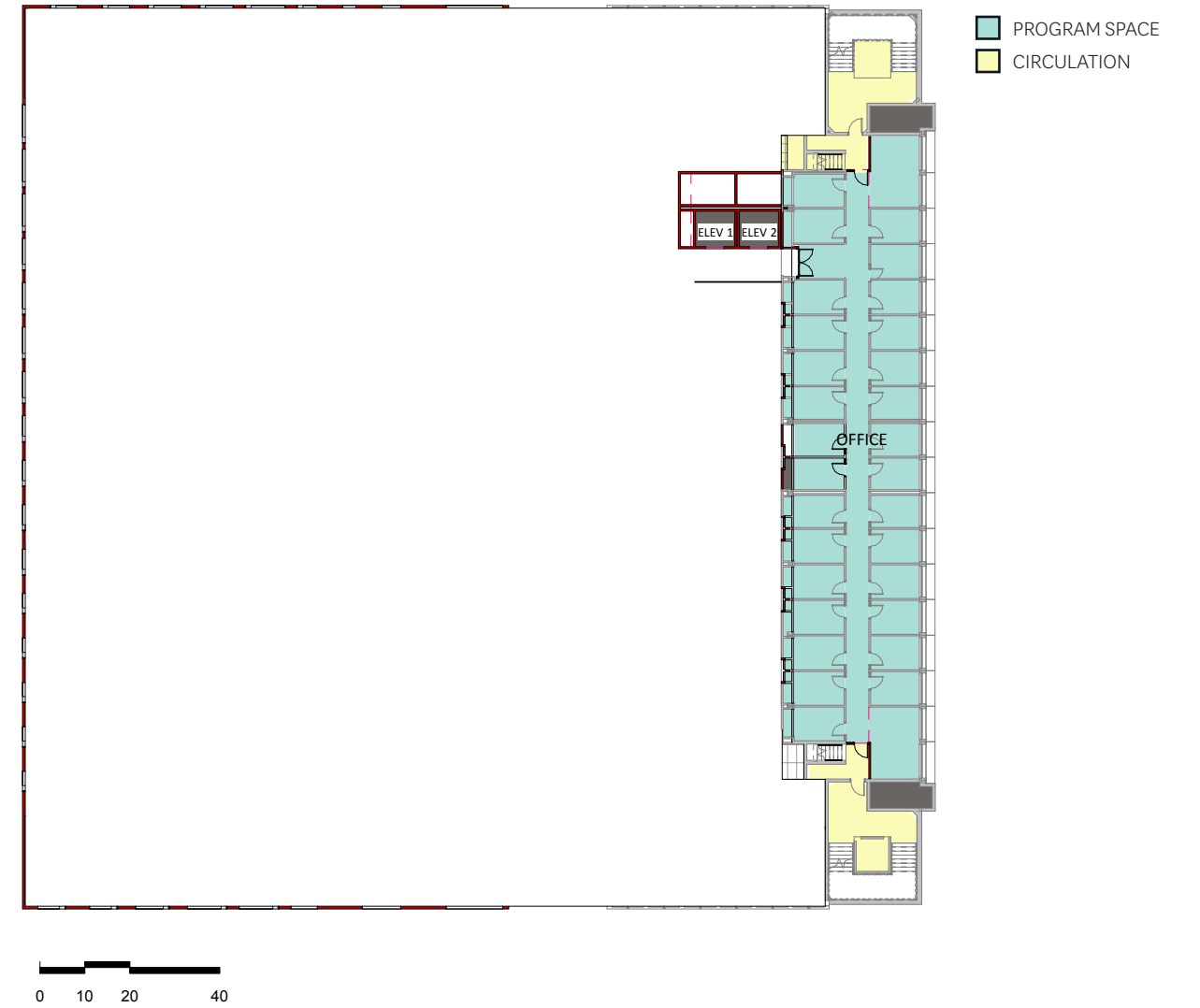


2ND FLOOR - 36,727 sf, FAR 0.92
SCALE : 1" = 40'-0"



2ND FLOOR MEZZANINE - 4,488 sf, FAR 0.11
SCALE : 1" = 40'-0"

FLOOR PLANS

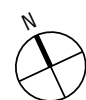
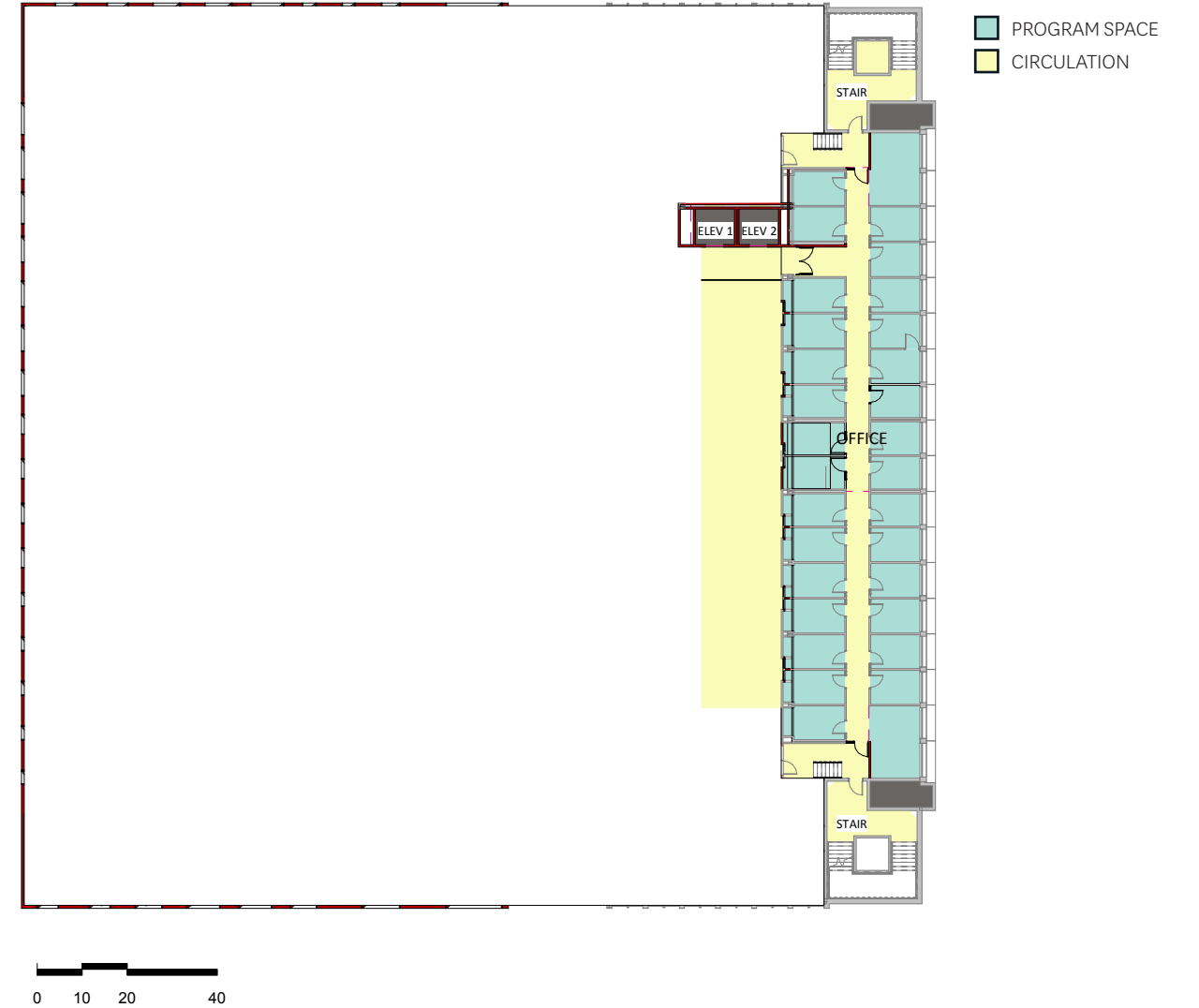
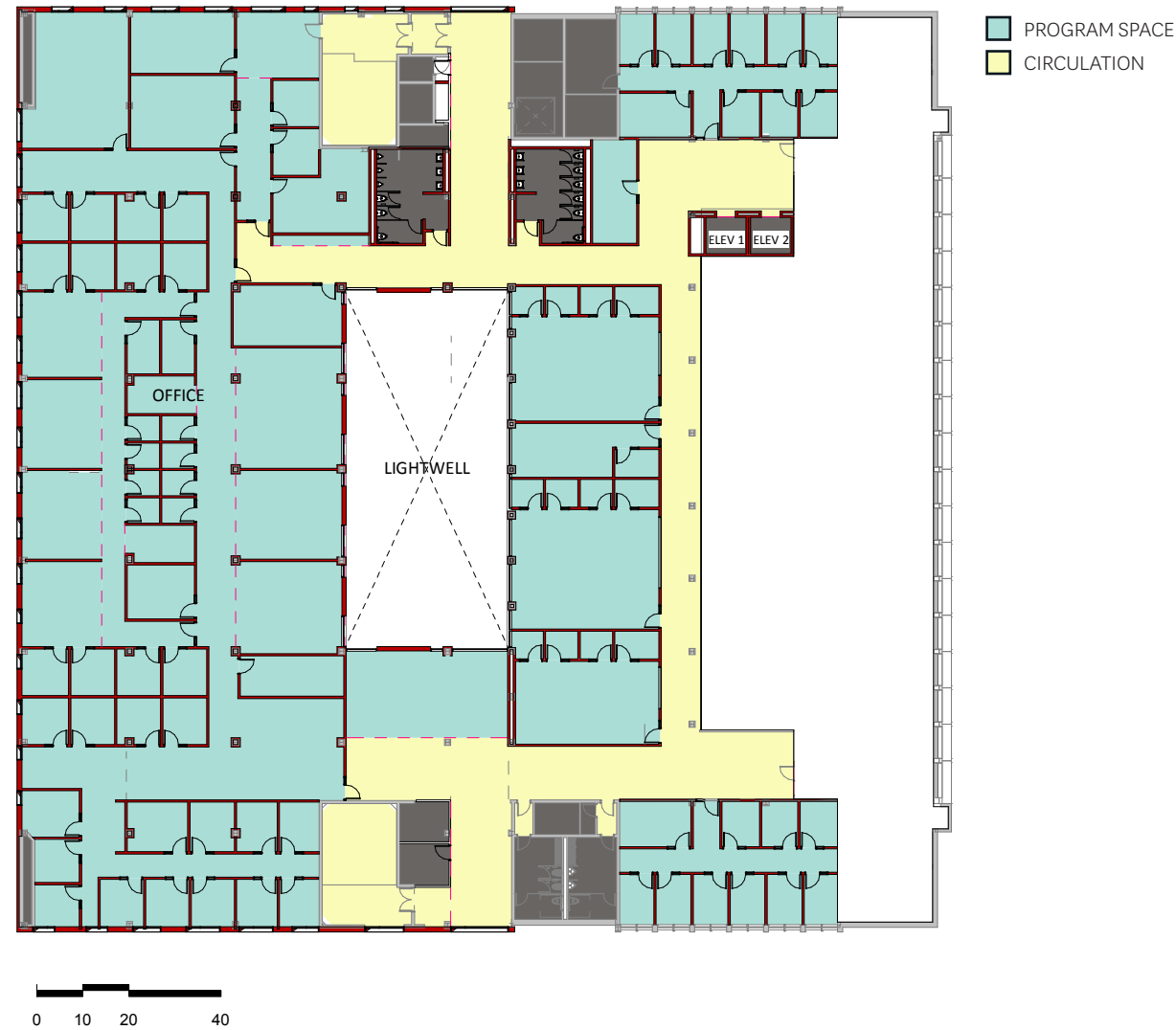


3RD FLOOR - 36,907 sf, FAR 0.92
SCALE : 1" = 40'-0"



3RD FLOOR MEZZANINE - 5,743 sf, FAR 0.14
SCALE : 1" = 40'-0"

FLOOR PLANS

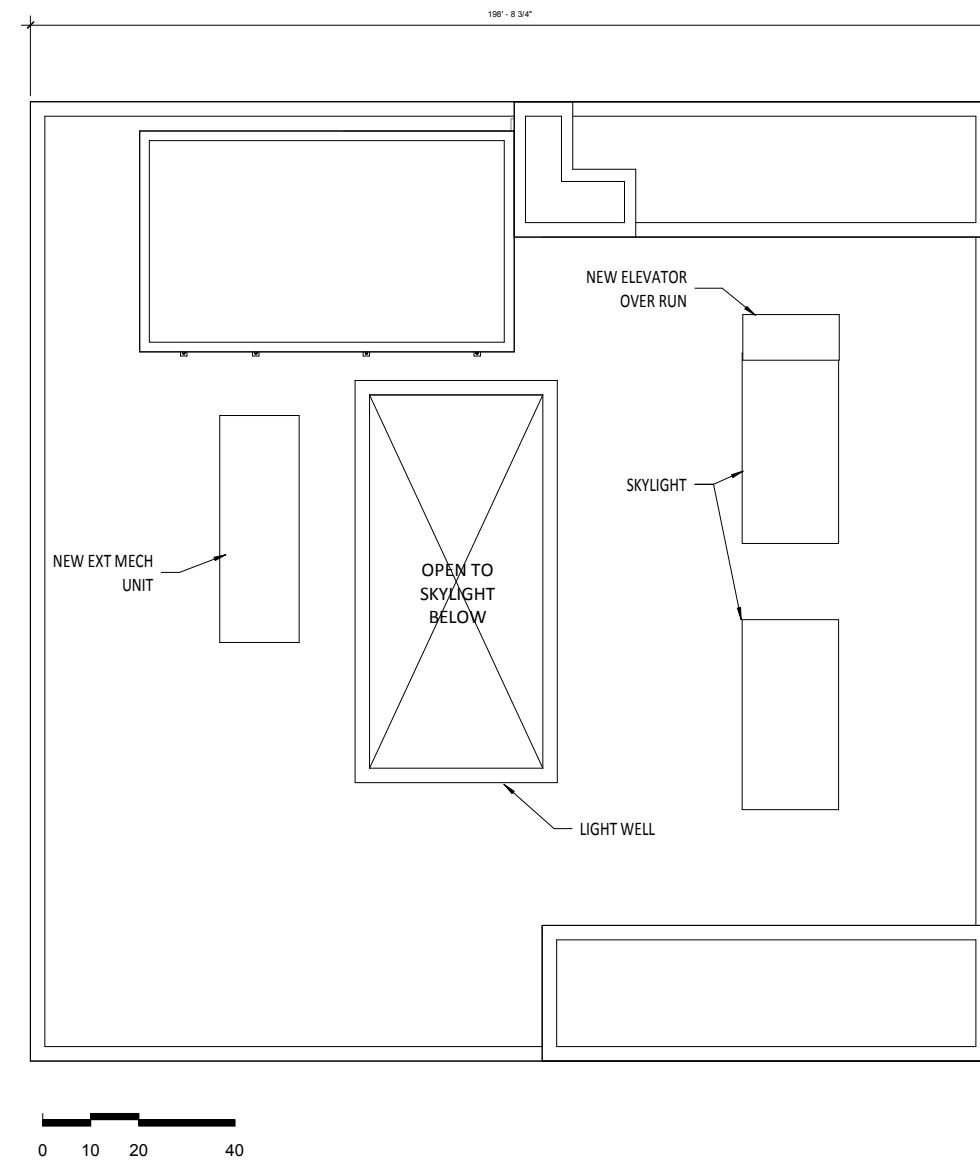


4TH FLOOR - 28,853 sf, FAR 0.72
SCALE : 1" = 40'-0"



4TH FLOOR MEZZANINE - 5,743 sf, FAR 0.14
SCALE : 1" = 40'-0"

FLOOR PLANS



5TH FLOOR - 8,647 sf, FAR 0.22
SCALE : 1" = 40'-0"

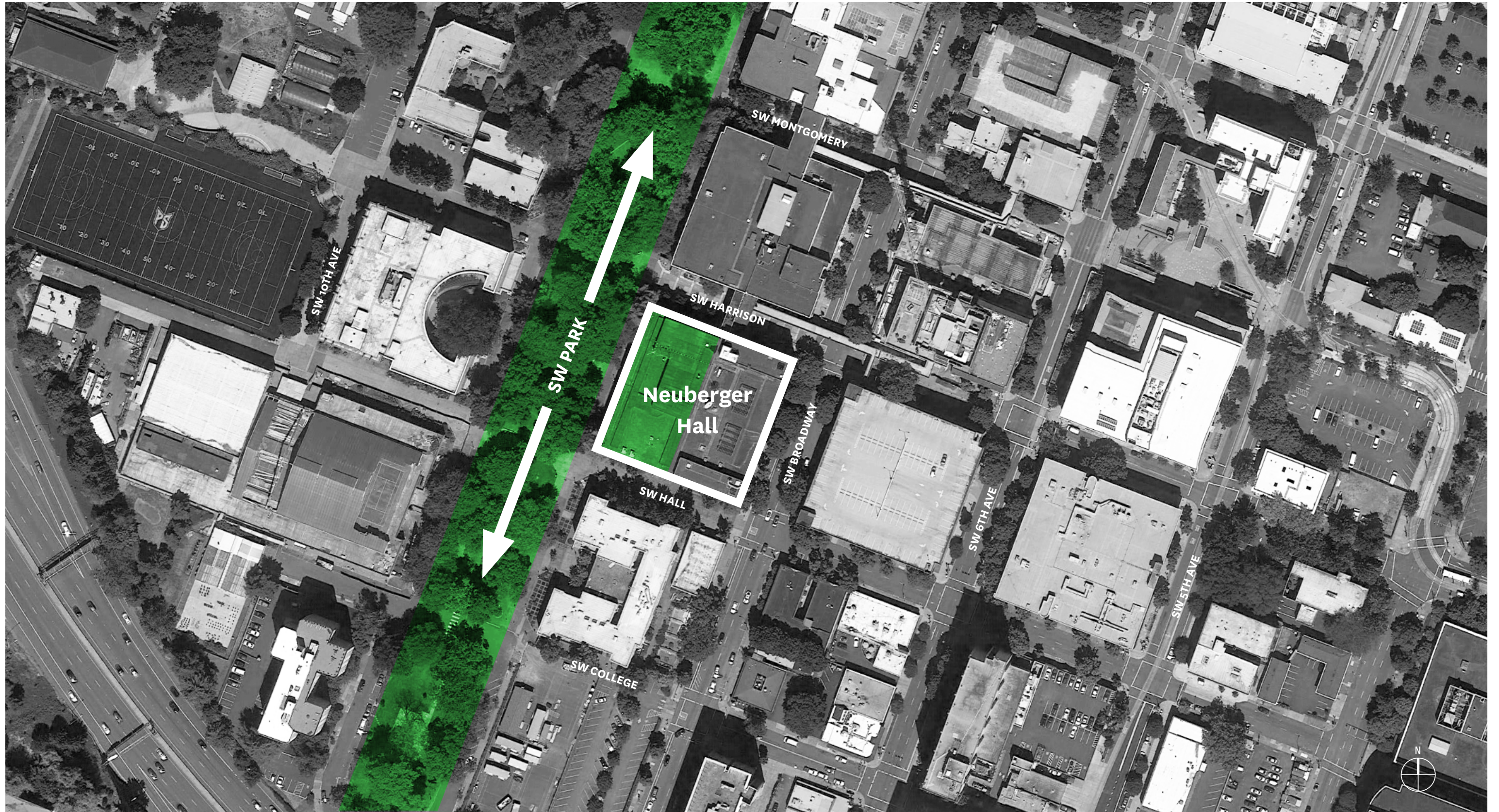


ROOF/PENTHOUSE
SCALE : 1" = 40'-0"

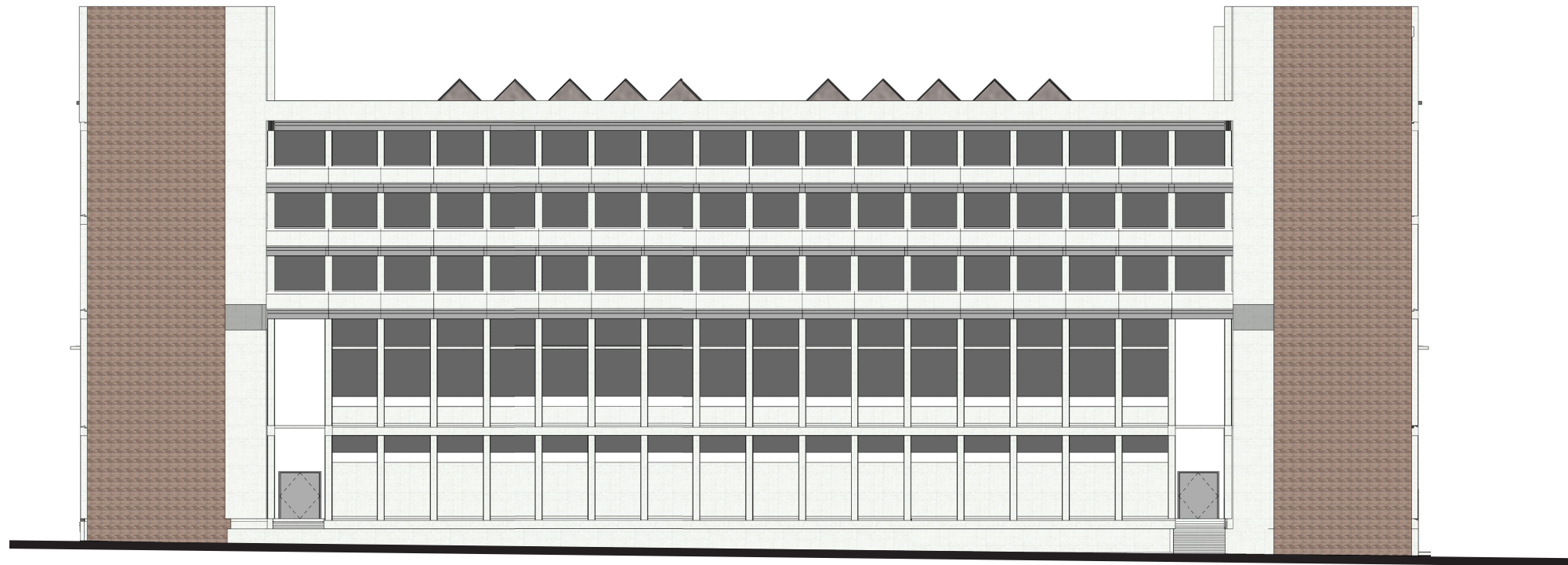
FLOOR PLANS



CONTEXT - TWO BUILDINGS | A BUILDING IN THE CITY

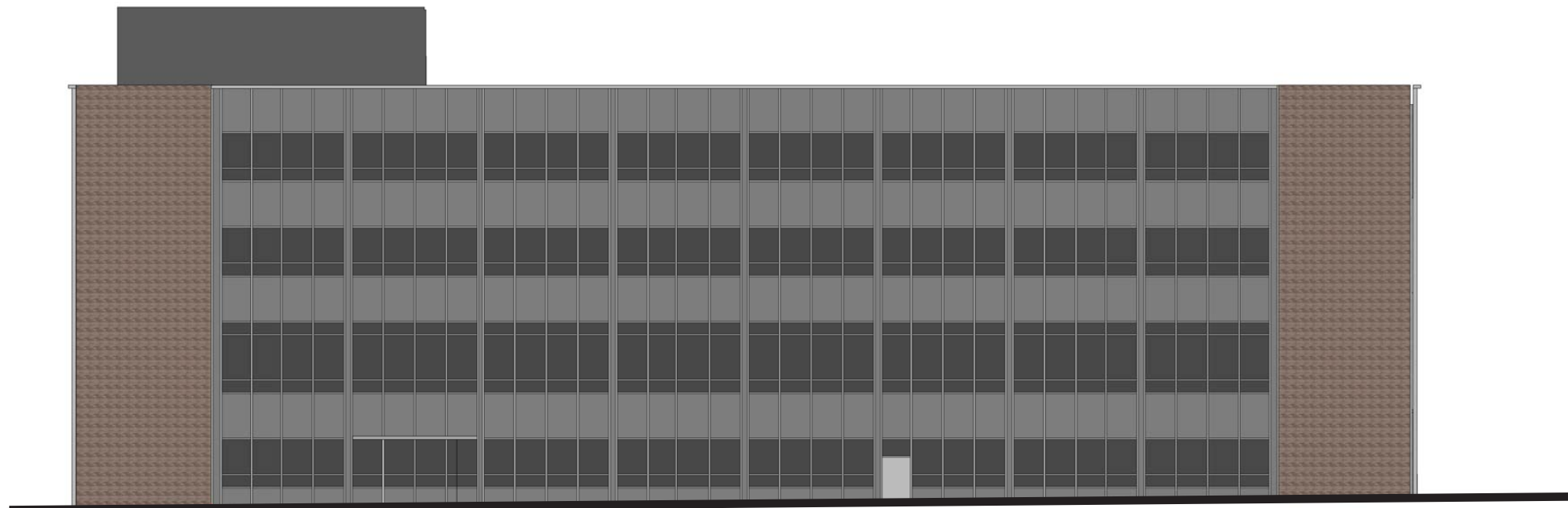


CONTEXT - TWO BUILDINGS | A BUILDING IN THE PARK



- The Broadway elevation can be made active and responsive with a few focused alterations.

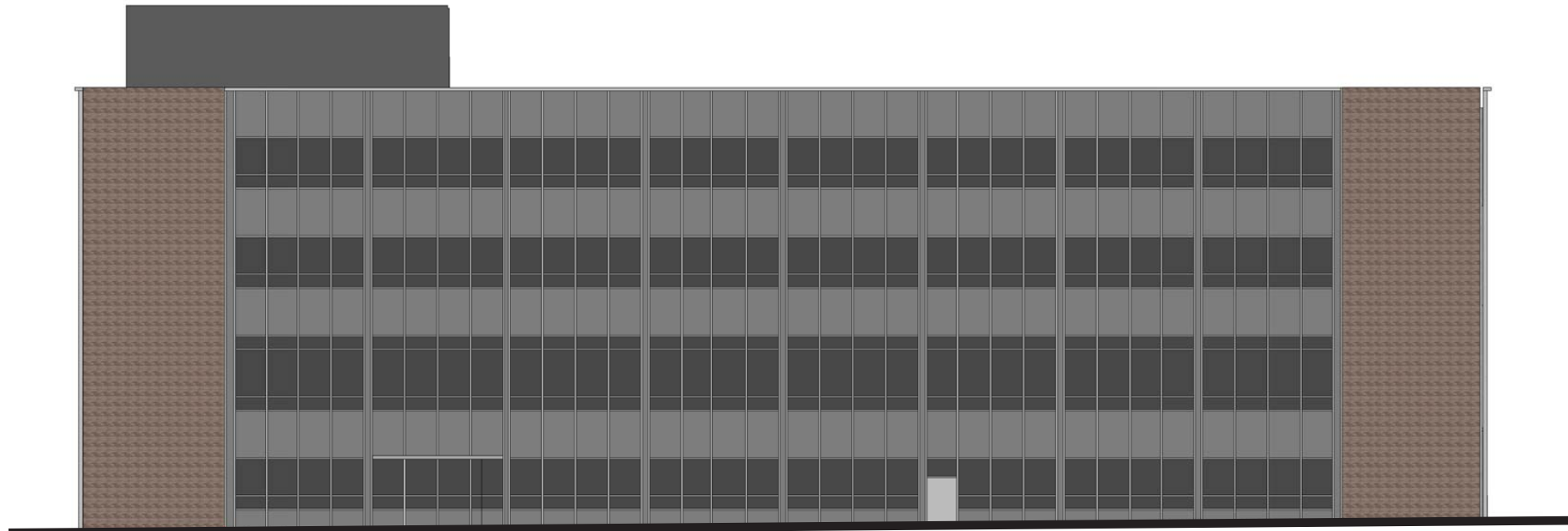
EAST ELEVATION - BROADWAY



- The park elevation systems are failing, need replacement and cannot be modified.

WEST ELEVATION - PARK

EXISTING ELEVATIONS



WEST ELEVATION - PARK

Current Elevation

- The current elevation is defensive and inwardly focused
- Not welcoming / no entry
- Does not acknowledge scale or language of the park

PARK ELEVATION

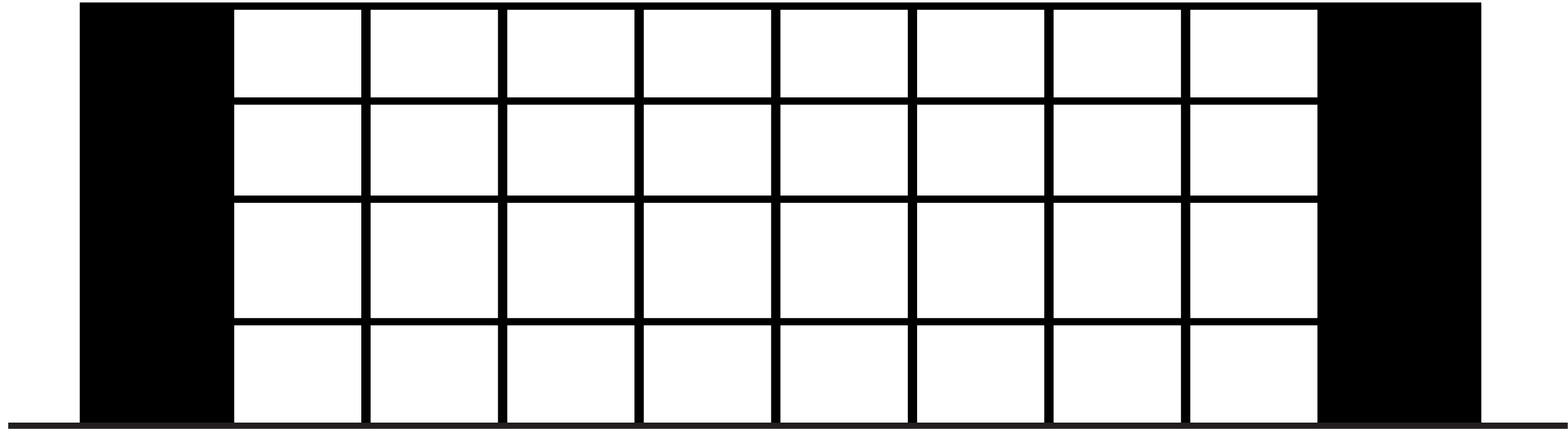
Replacing the envelope along the park blocks is an opportunity to accomplish two goals:



APPROACHABLE

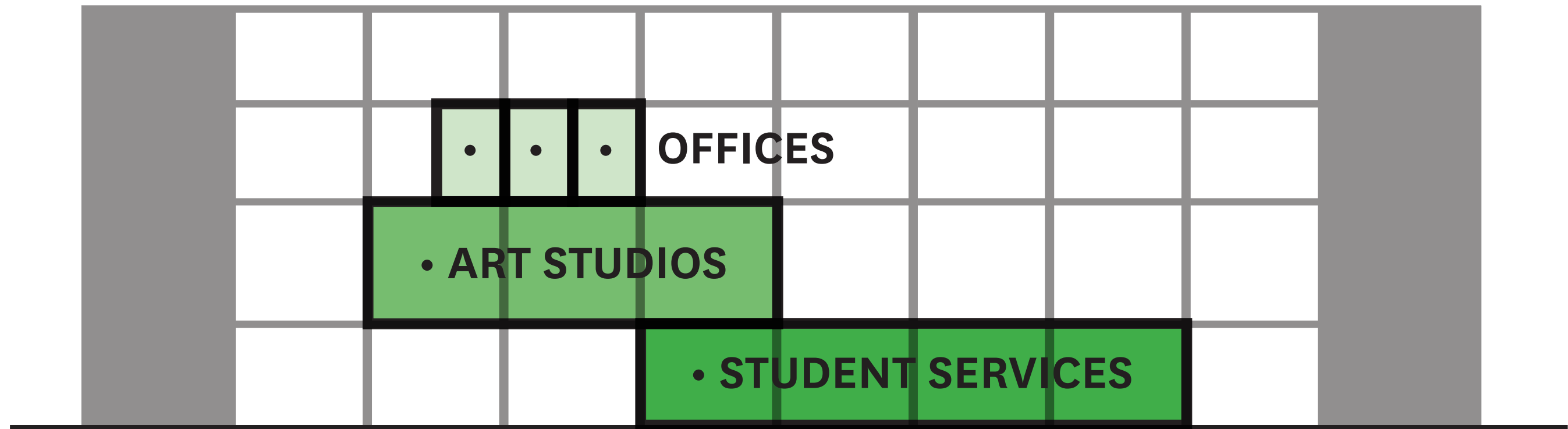


CONNECTED TO PARK



- Existing frames and shear walls

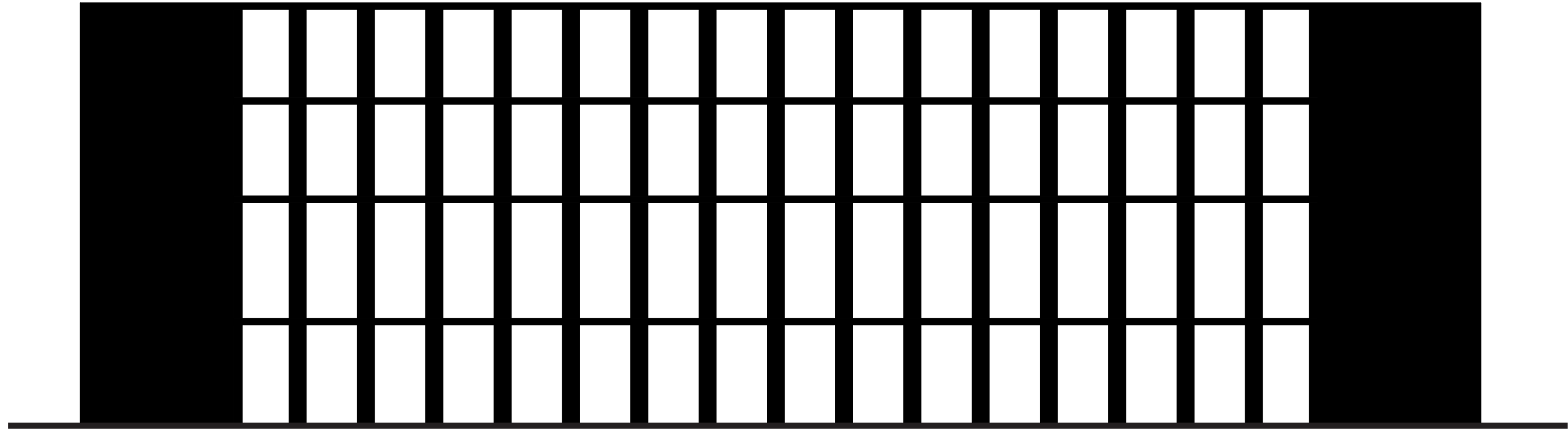
FACADE CONCEPT - EXISTING FRAMEWORK



The new elevation needs to embody a sense of universality. Neuberger is a workhorse building for the campus, needing to gracefully accommodate not only the current program but future program shifts.

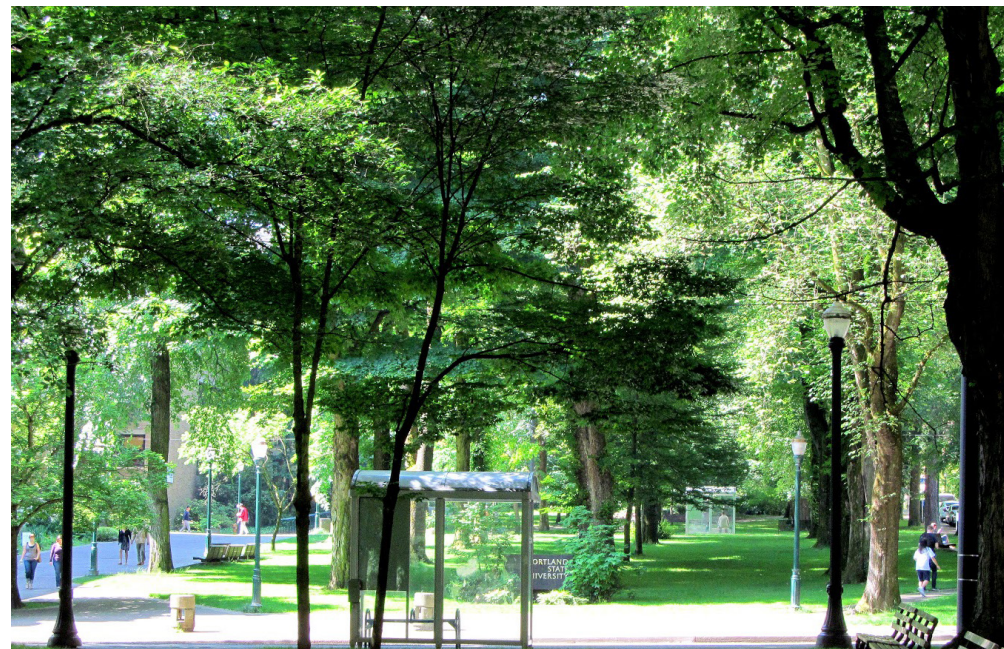
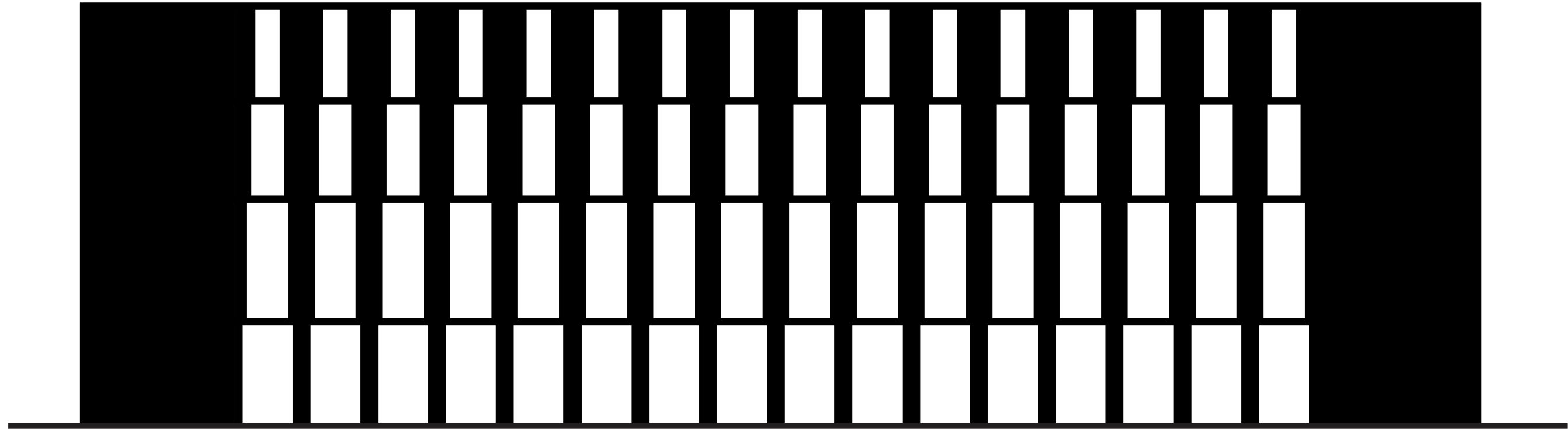
Smallest and largest program elements:

- Offices
- Art studios
- Student Services



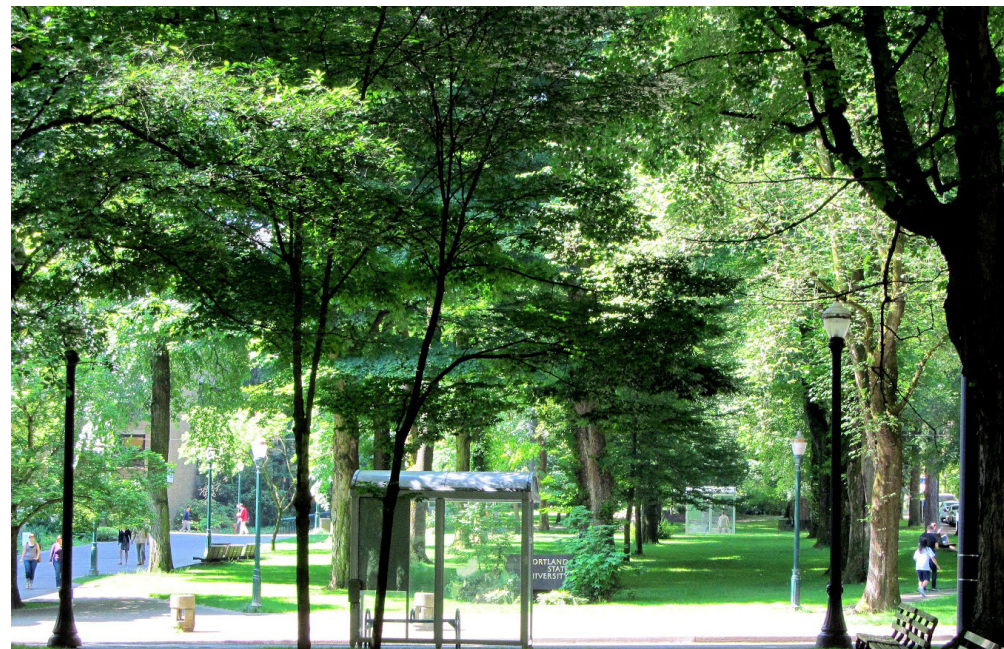
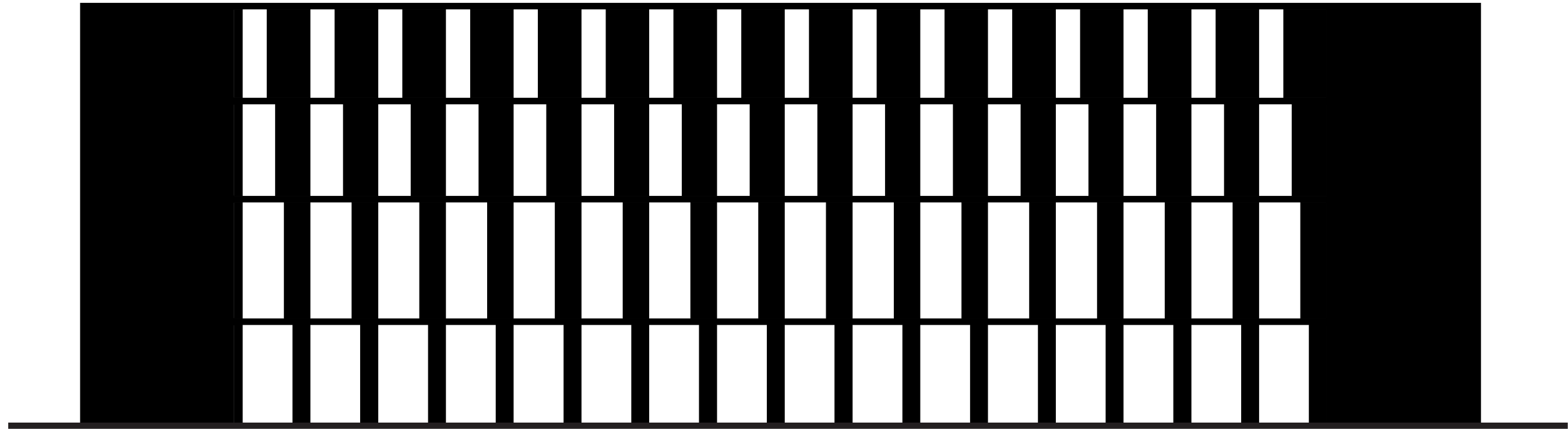
- Two windows per structural bay required to service the smallest programmatic elements of offices

FACADE CONCEPT - UNIVERSALITY | STANDARD MODULE



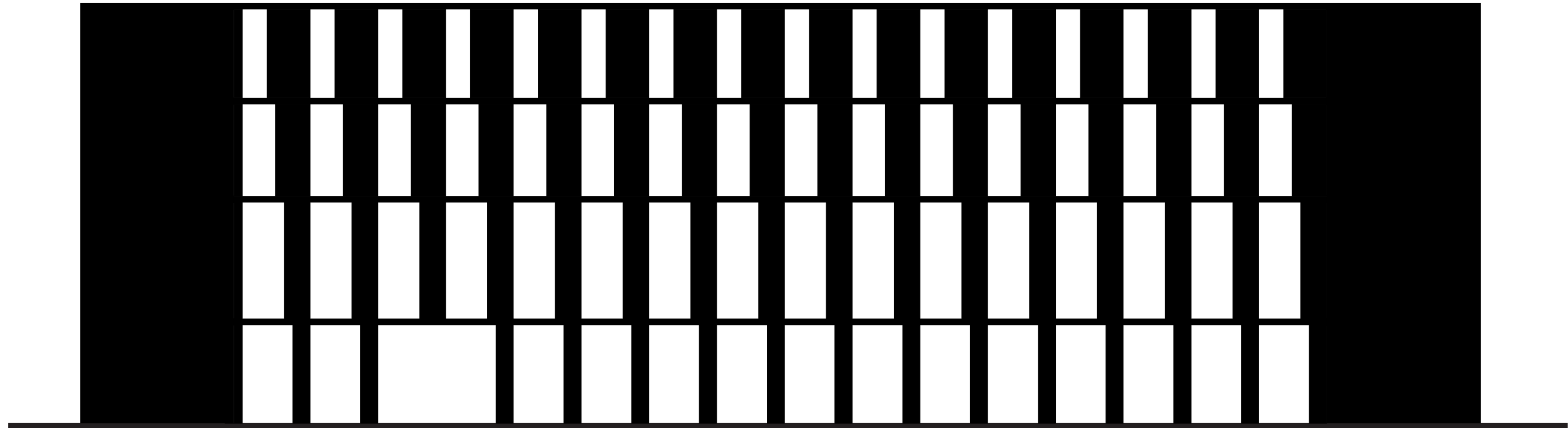
- Expand the transparent portions of the building towards the ground
- Create a sense of welcoming and inviting transparency into Student Services

FACADE CONCEPT - APPROACHABILITY | GRADIENT



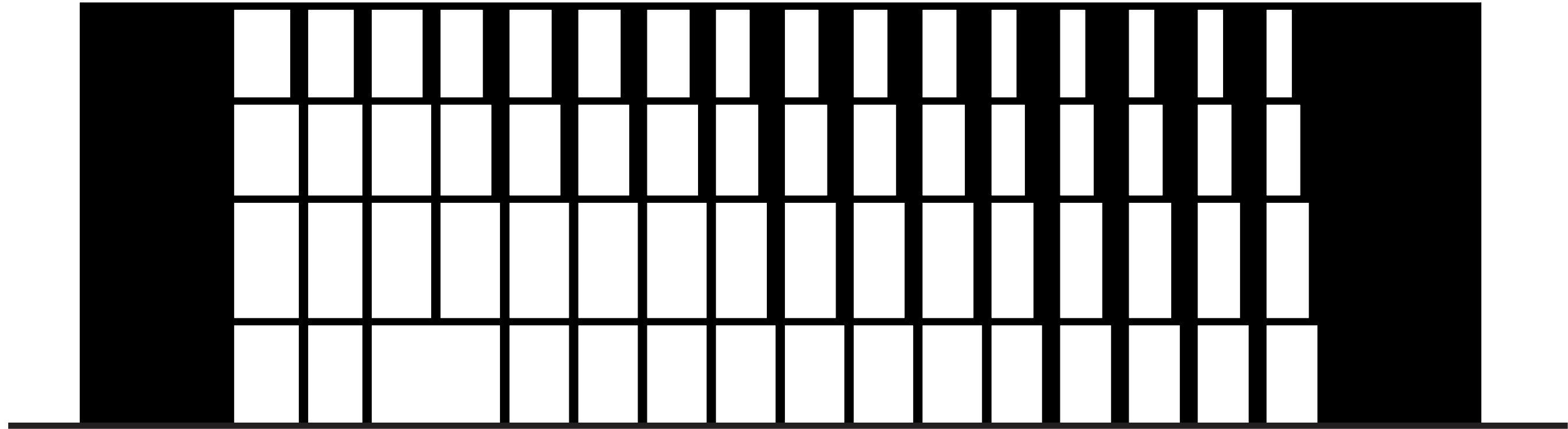
- Shift pattern to accommodate a new primary building entry
- Reference linear energy of the park blocks

FACADE CONCEPT - PATTERN | LEANING GRADIENT



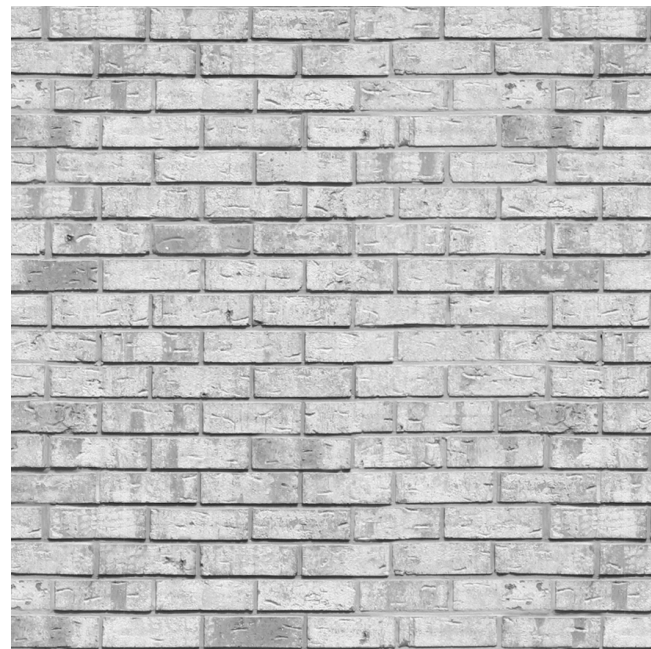
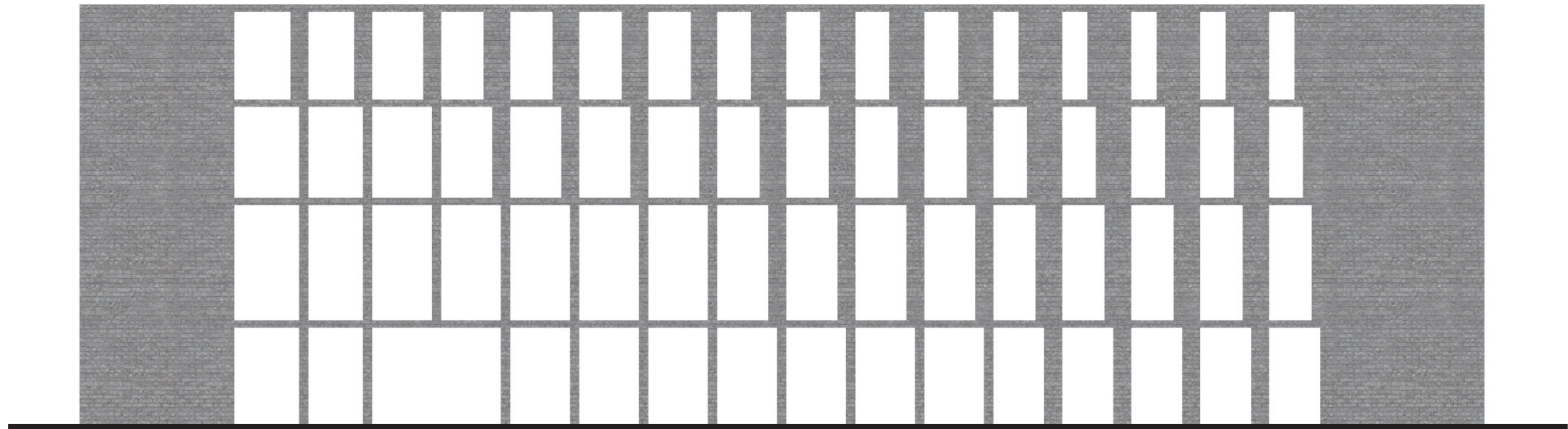
- Adds new primary building entry on park

FACADE CONCEPT - APPROACHABILITY | PRIMARY ENTRY



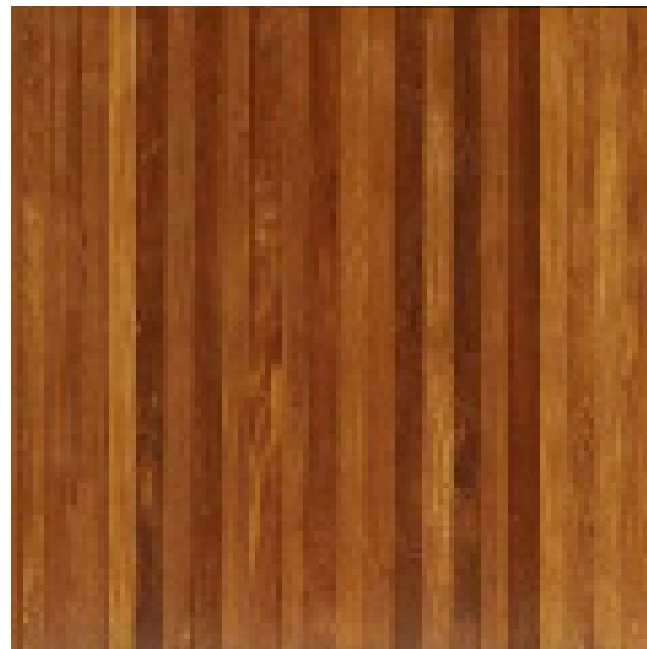
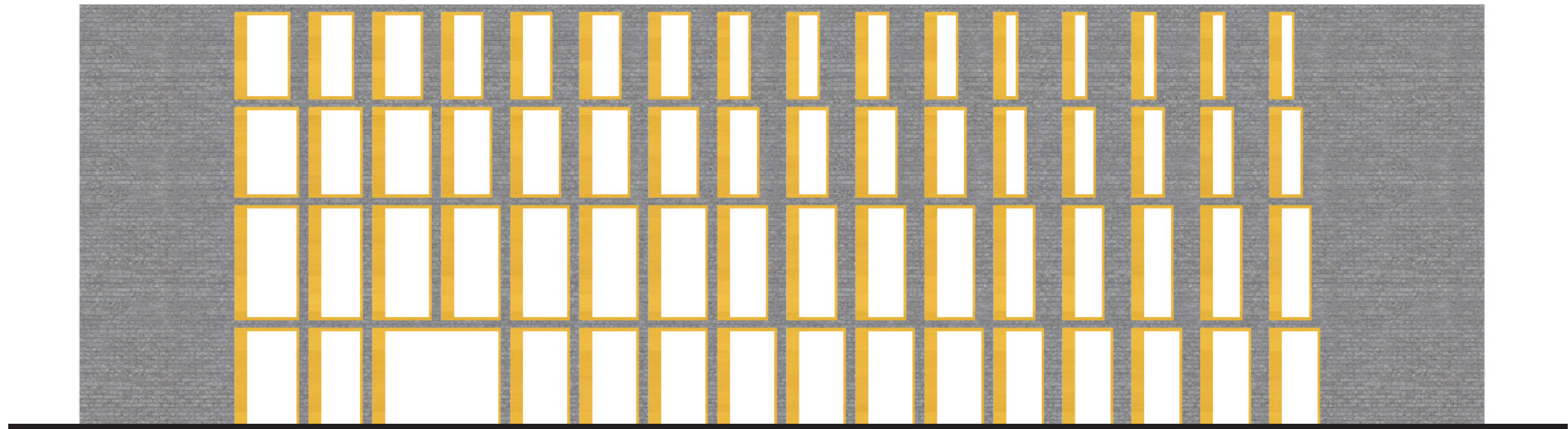
- Shift pattern to focus on entry
- Introduce organic movement; contrasting with the Broadway elevation
- Reference the branching patterning and scale of the park block elms
- Break down the rigidity of the existing frame

FACADE CONCEPT - PATTERN | DIAGONAL GRADIENT



- Brick is the most durable and cost conscious material that fits within the campus material language
- A light tone or reflective sheen allows the building to reflect light into the dark understory of the park block tree canopy

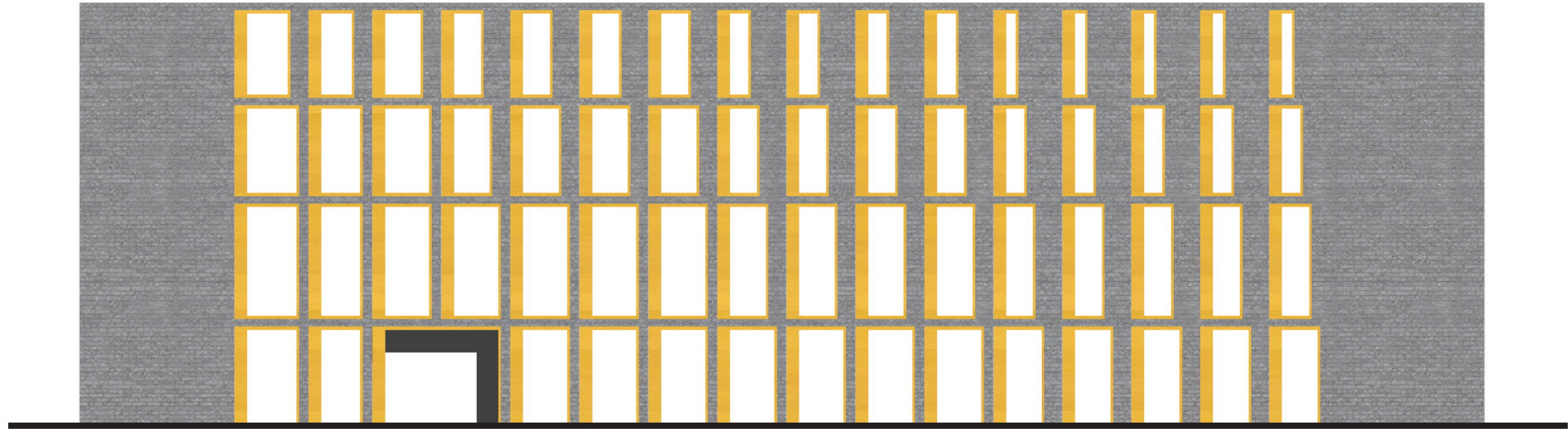
FACADE DESIGN - PRIMARY MATERIAL | BRICK



Secondary Material

- Human scale
- Warmth

FACADE DESIGN - SECONDARY MATERIAL | WARM/TACTILE



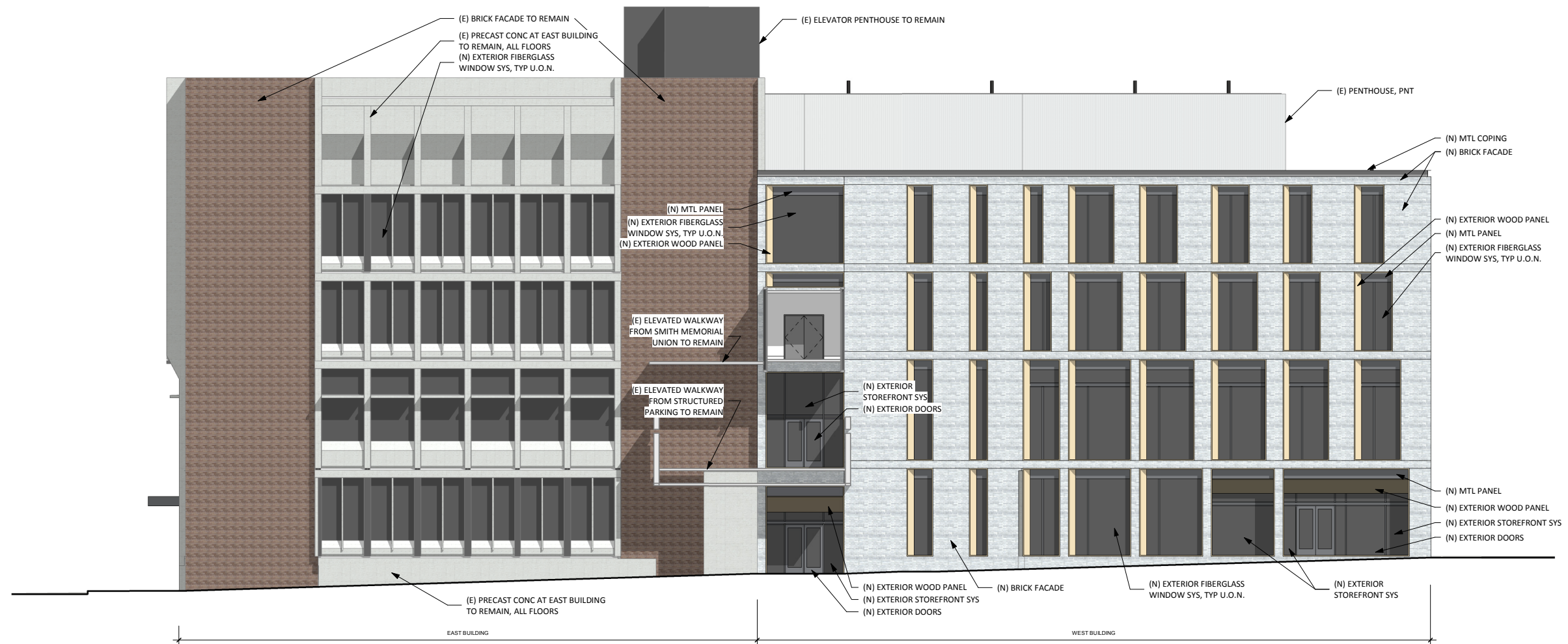
- Increase depth at ground floor

FACADE DESIGN - DEPTH AT ENTRIES

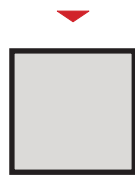


VIEW FROM PARK

EXTERIOR RENDERING

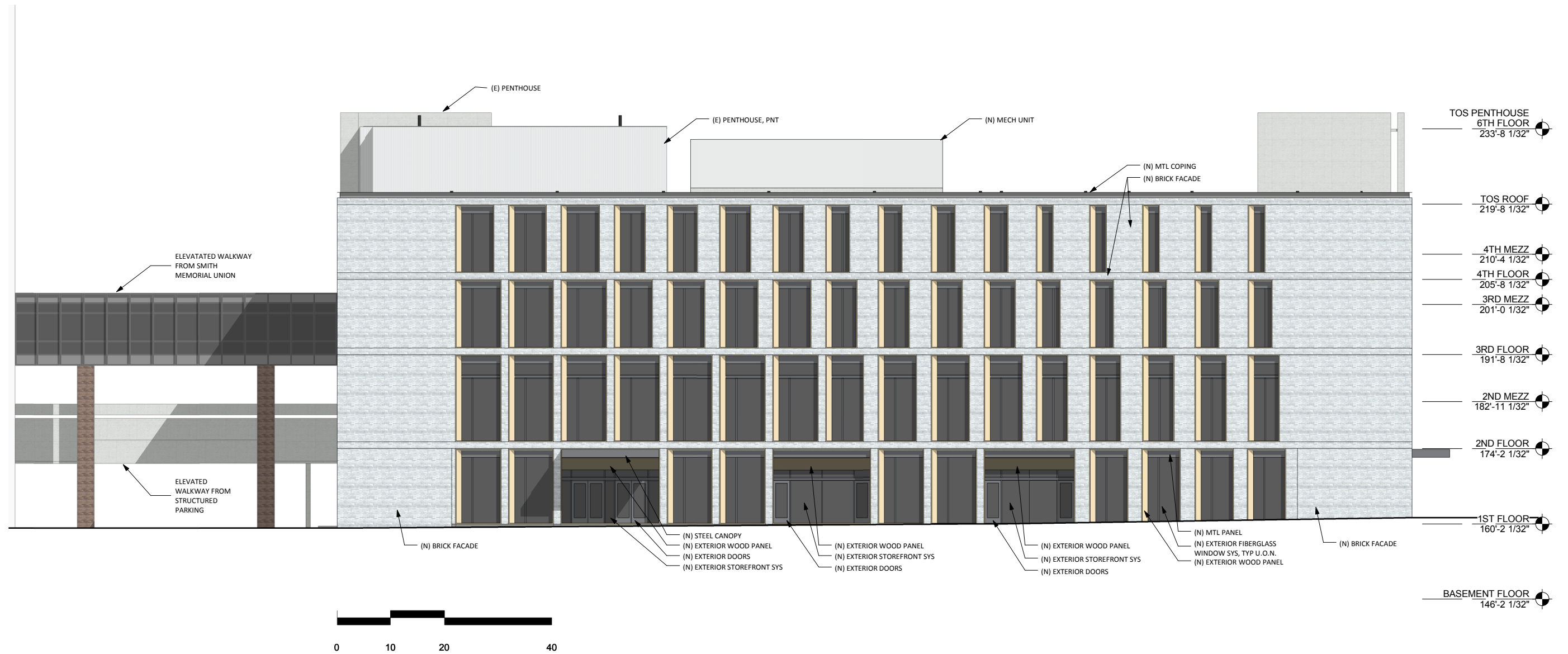


Note: Facade improvements may include: window and curtain wall replacements.



NORTH ELEVATION
SCALE : 1" = 20'-0"

EXTERIOR ELEVATIONS

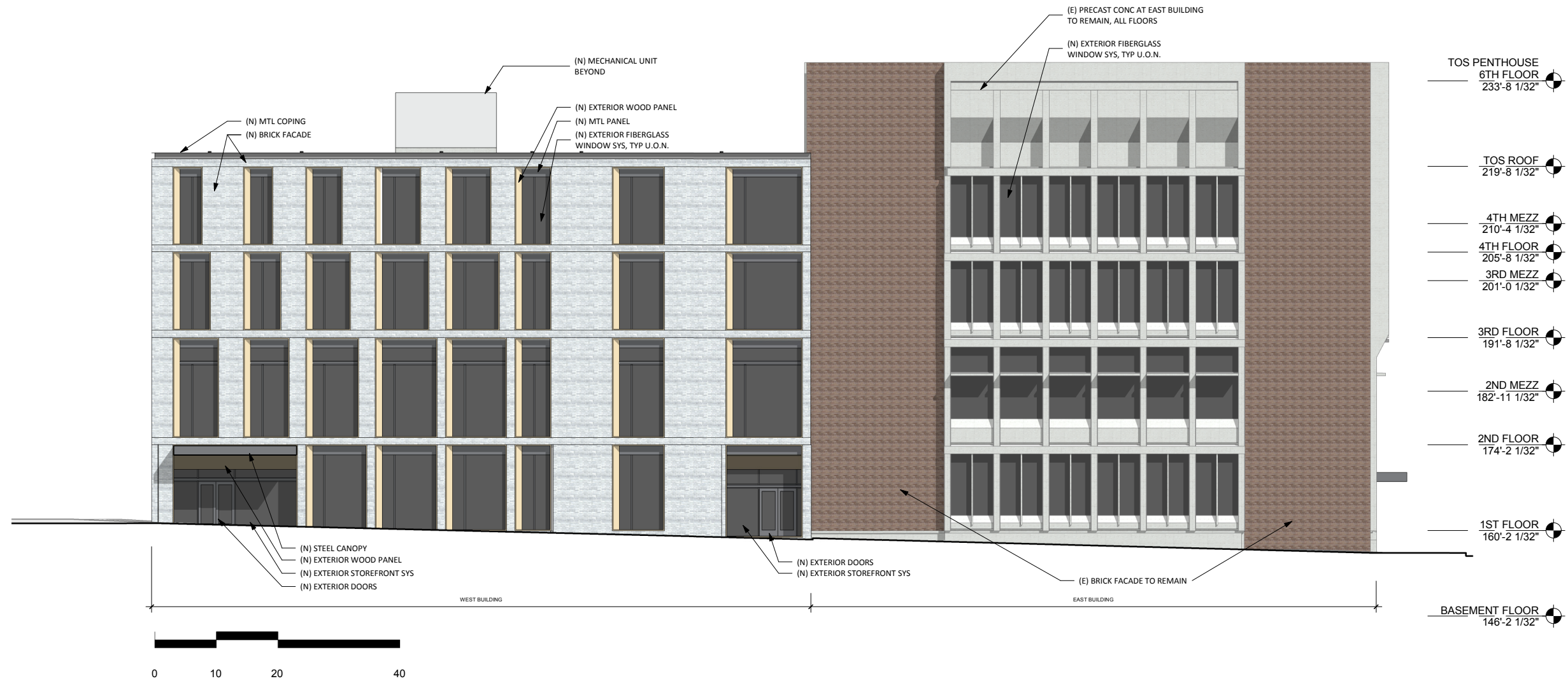


Note: Facade improvements may include: window and curtainwall replacements and new ground floor building entrances.

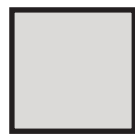


WEST ELEVATION
SCALE : 1" = 20'-0"

EXTERIOR ELEVATIONS

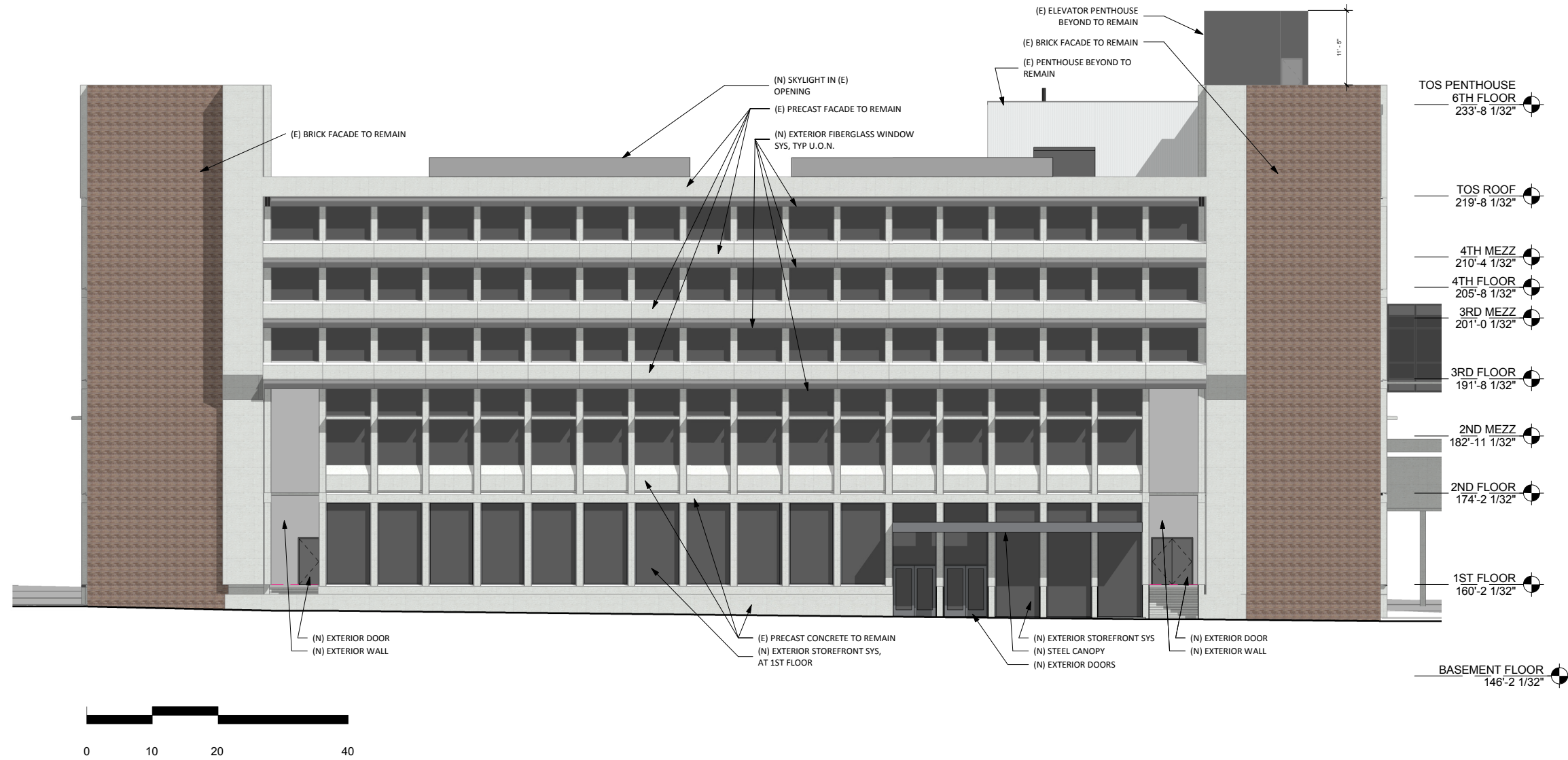


Note: Facade improvements may include: window and curtainwall replacements.



SOUTH ELEVATION
SCALE : 1" = 20'-0"

EXTERIOR ELEVATIONS



Note: Facade improvements may include: window replacements and new Broadway Avenue entrance.



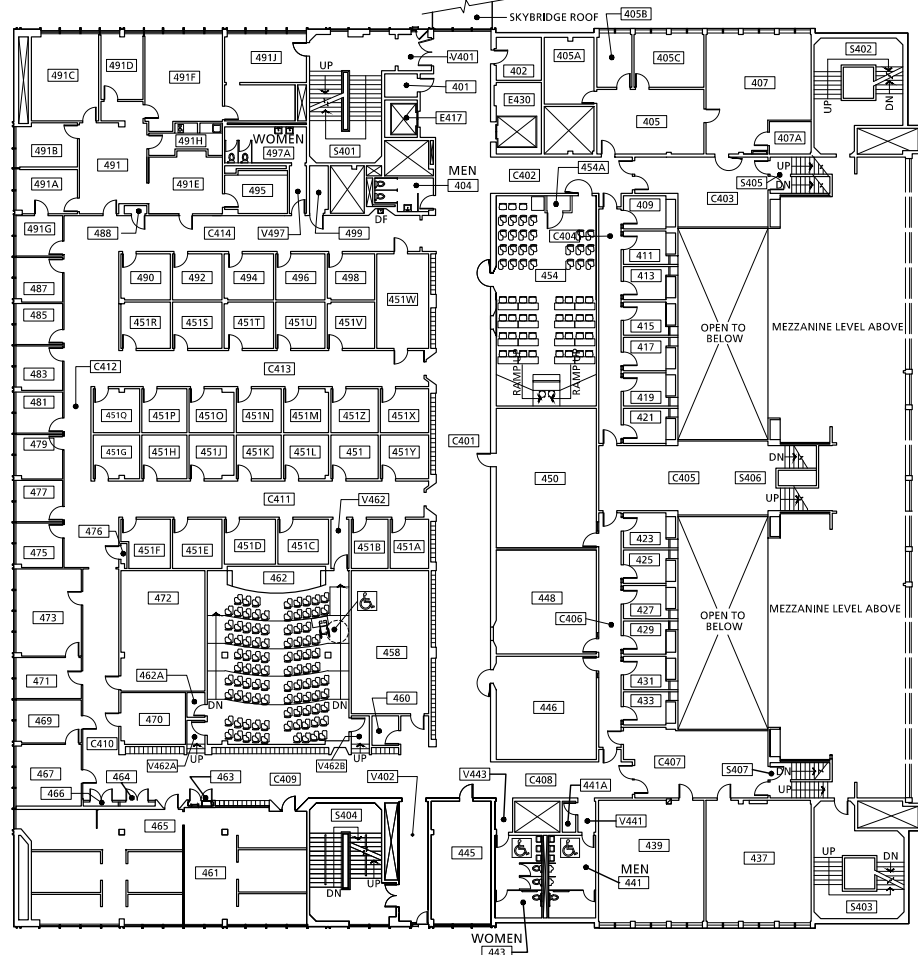
EAST ELEVATION
SCALE : 1" = 20'-0"

EXTERIOR ELEVATIONS

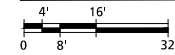


VIEW FROM BROADWAY

EXTERIOR RENDERING



FOURTH FLOOR PLAN



199 - A7

DRAWN BY:
BR5
DATE:
08/2016

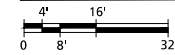
FOURTH FLOOR PLAN
199, NEUBERGER HALL
724 S.W. HARRISON



SEE FOURTH FLOOR MEZZANINE PLAN A8 FOR ADDITIONAL INFORMATION



FOURTH FLOOR MEZZANINE PLAN



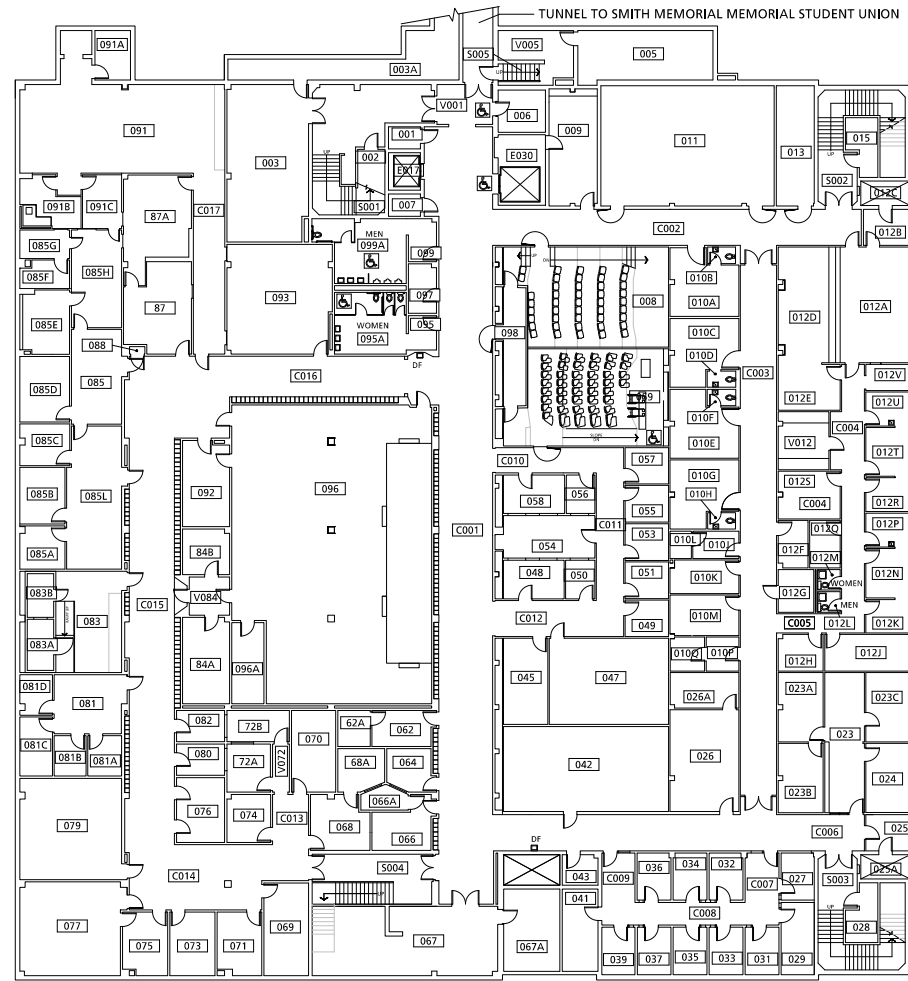
199 - A8

DRAWN BY:
LRR
DATE:
01/29/2009

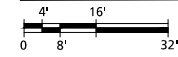
4th FLOOR MEZZANINE PLAN
199, NEUBERGER HALL
724 S.W. HARRISON



SEE FOURTH FLOOR PLAN A7 FOR ADDITIONAL INFORMATION



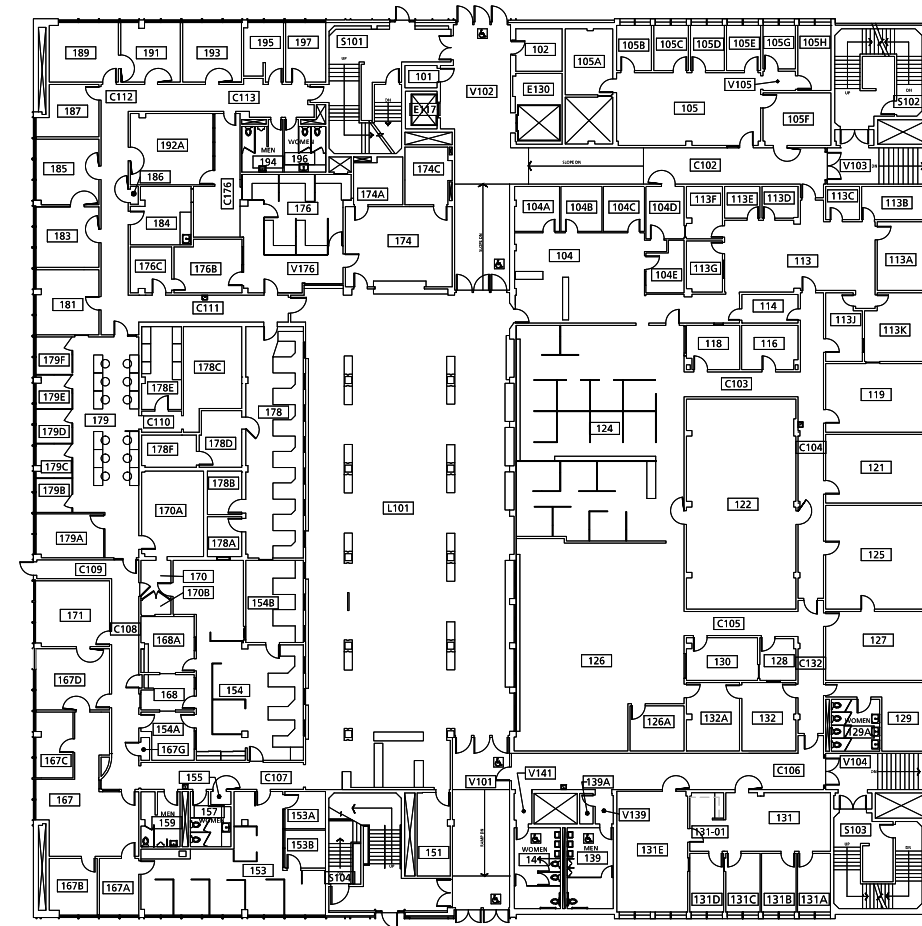
BASEMENT FLOOR PLAN



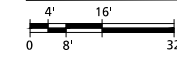
199 - A1

DRAWN BY:
BRS
DATE:
08/2016

BASEMENT FLOOR PLAN
199, NEUBERGER HALL
724 S.W. HARRISON



FIRST FLOOR PLAN

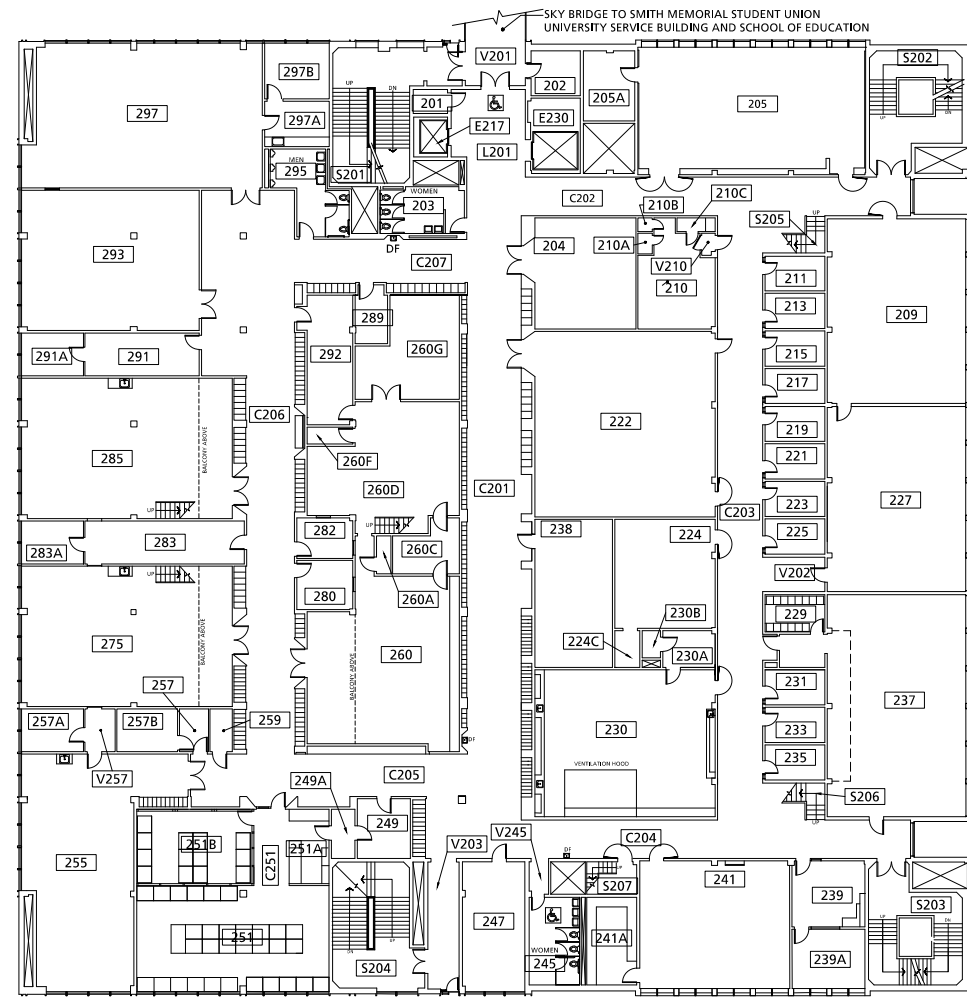


199 - A2

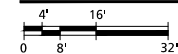
DRAWN BY:
BRS
DATE:
08/2016

FIRST FLOOR PLAN
199, NEUBERGER HALL
724 S.W. HARRISON





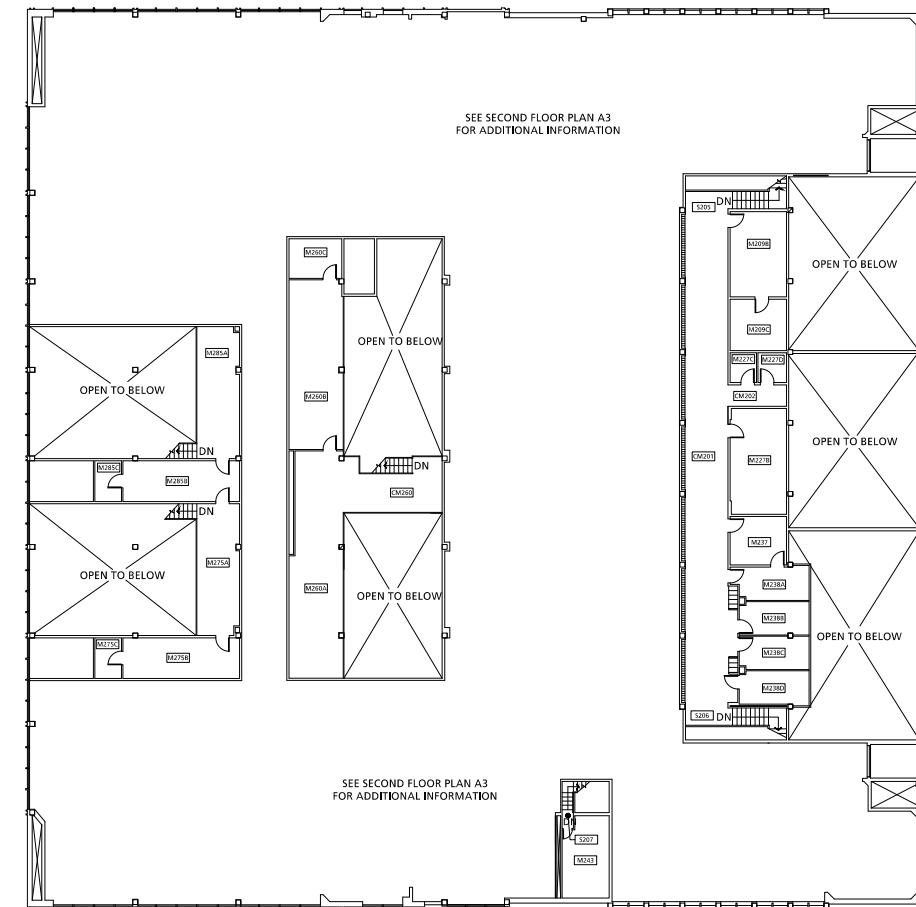
SECOND FLOOR PLAN



199 - A3

DRAWN BY:
BRS
DATE:
08/2016

SECOND FLOOR PLAN
199, NEUBERGER HALL
724 S.W. HARRISON



SECOND FLOOR MEZZANINE

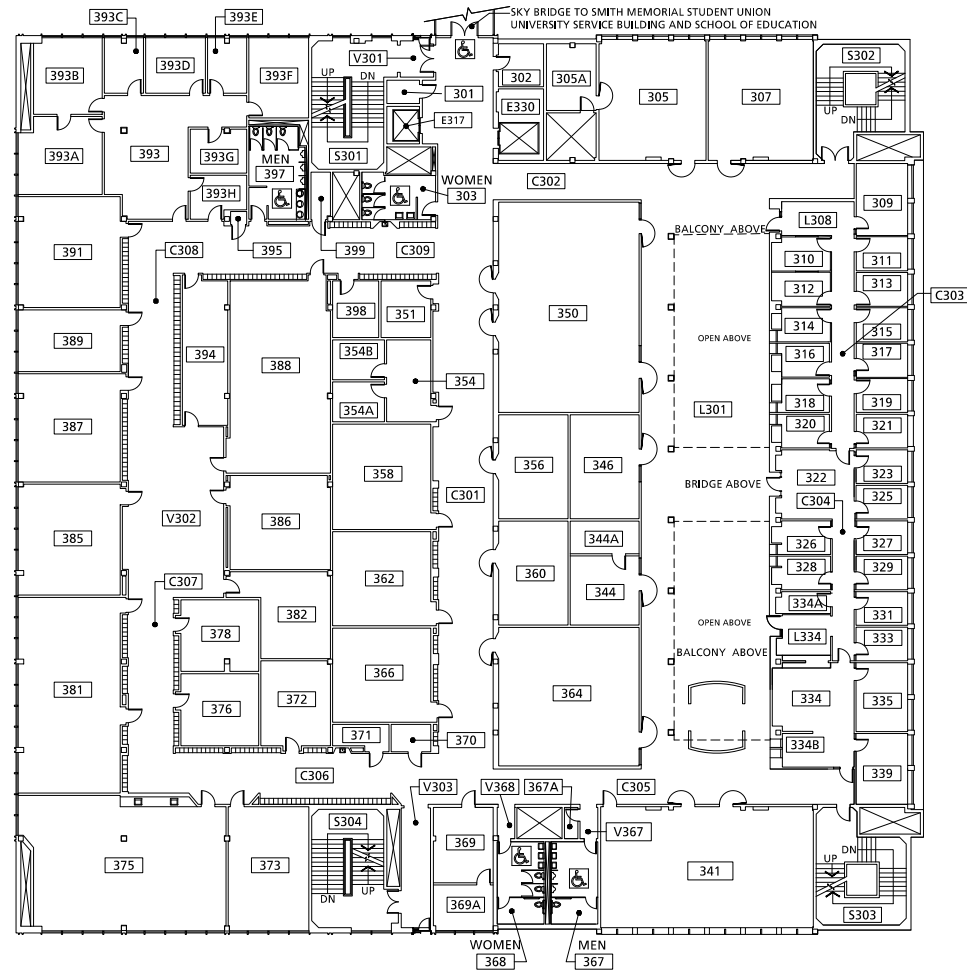


199 - A4

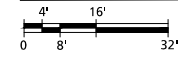
DRAWN BY:
BRS
DATE:
08/2016

SECOND FLOOR MEZZANINE
199, NEUBERGER HALL
724 S.W. HARRISON





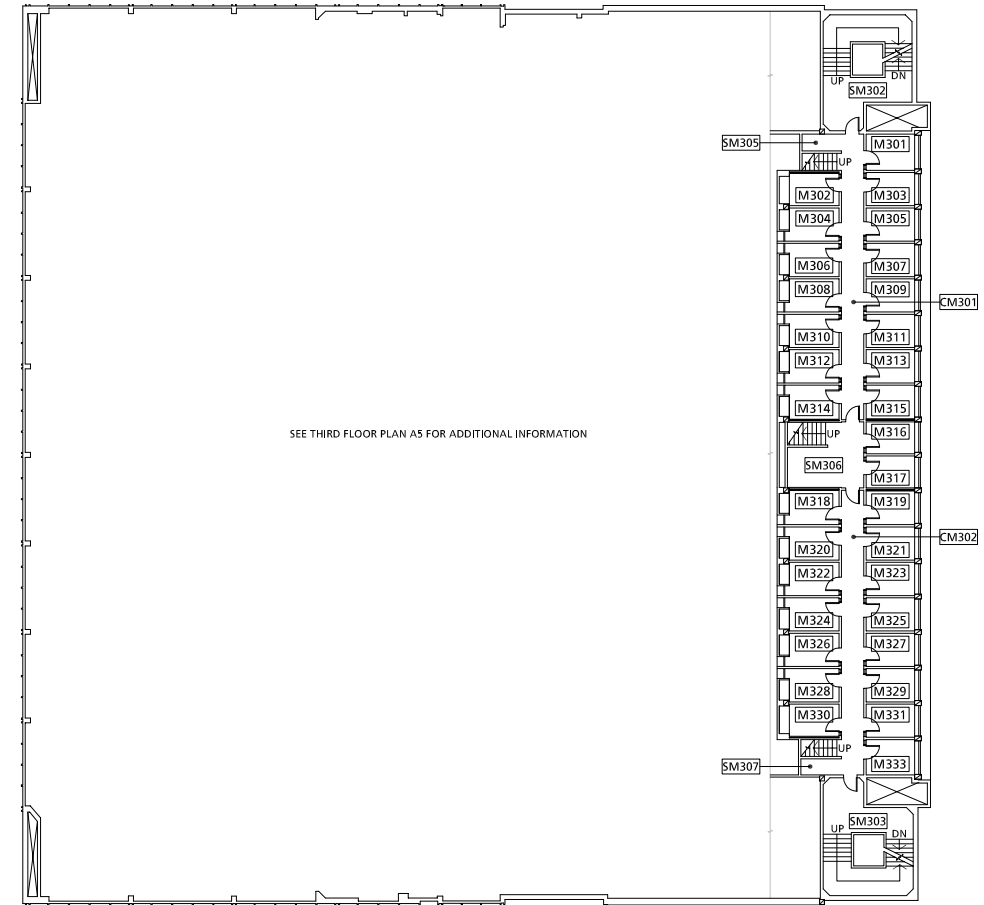
THIRD FLOOR PLAN



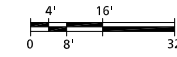
199 - A5

DRAWN BY:
BRS
DATE:
08/2015

THIRD FLOOR PLAN
199, NEUBERGER HALL
724 S.W. HARRISON



THIRD FLOOR MEZZANINE PLAN

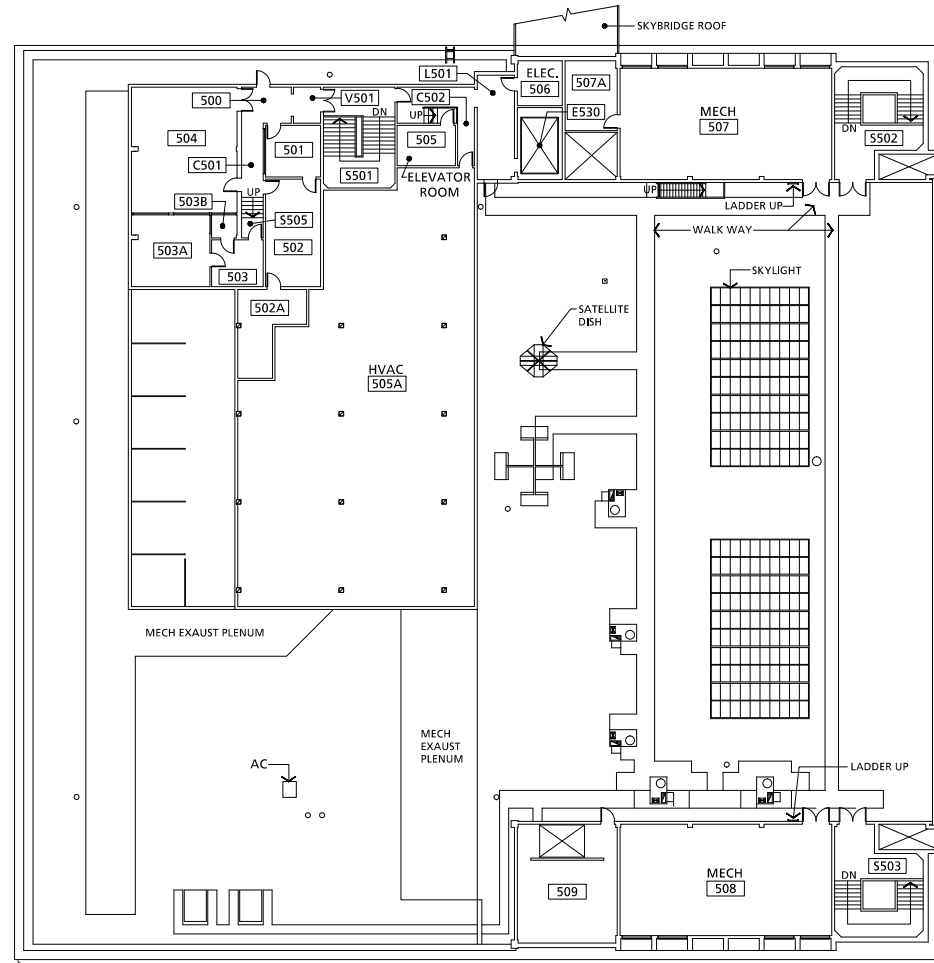


199 - A6

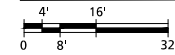
DRAWN BY:
LRR
DATE:
9/2009

3rd FLOOR MEZZANINE PLAN
199, NEUBERGER HALL
724 S.W. HARRISON





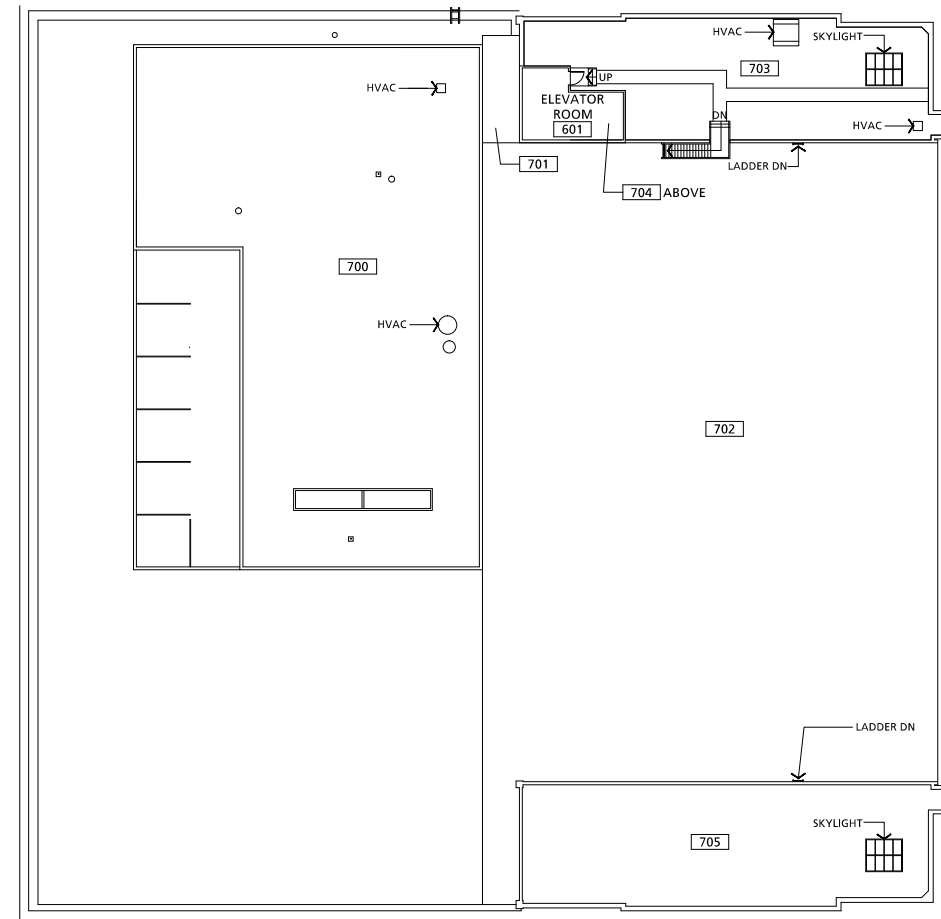
FIFTH FLOOR and PARTIAL ROOF PLAN



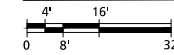
199 - A9

DRAWN BY:
BR5
DATE:
08/2016

5th FLOOR and PARTIAL ROOF PLAN
199, NEUBERGER HALL
724 S.W. HARRISON



ROOF PLAN

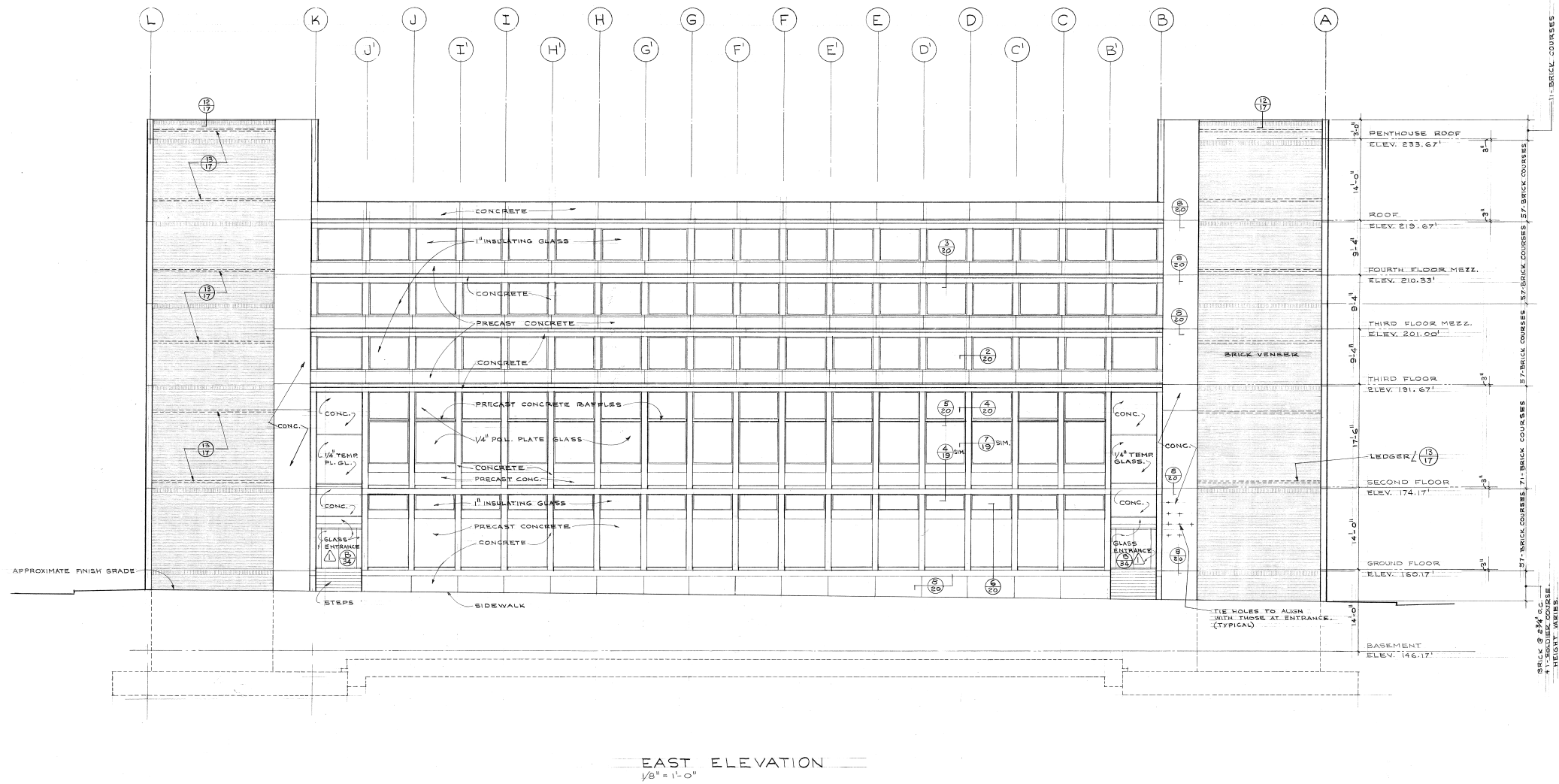


199 - A10

DRAWN BY:
LRR
DATE:
01/29/2009

ROOF PLAN
199, NEUBERGER HALL
724 S.W. HARRISON





EAST ELEVATION
1/8" = 1'-0"

DATE: AUG. 8, 1956
BY: BUILT CORP./J.S.G.

ARCHITECTS
WOLFF • ZIMMER • GUNSUL • FRASCA
2386 N. W. HOYT STREET, PORTLAND 10, OREGON

EXTERIOR ELEVATION
SOUTH PARK HALL ADDITION
PORTLAND STATE COLLEGE
PORTLAND, OREGON



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OF 212 SHEETS

